



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Erik Hansen - District #3
Steve O'Dorisio - District #4
Mary Hodge - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
October 16, 2018
9:30 AM

- 1. ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. MOTION TO APPROVE AGENDA**
- 4. AWARDS AND PRESENTATIONS**
- 5. PUBLIC COMMENT**

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

- A.** List of Expenditures Under the Dates of October 1-5, 2018
- B.** Minutes of the Commissioners' Proceedings from October 9, 2018
- C.** Adams County Treasurer's Monthly Summary September 1-30, 2018
- D.** Resolution Approving and Adopting a Records Retention Schedule for Adams County, Colorado
(File approved by ELT)

- E.** Resolution Accepting a Warranty Deed from Kathryn J. Watson, Jess Watson, Jr., Kevin Watson, and Lesley D. Watson to Adams County Conveying Property for Right-Of-Way Purposes
(File approved by ELT)
- F.** Resolution Regarding Defense and Indemnification of Luke Bergman as a Defendant Pursuant to C.R.S. § 24-10-101, Et Seq.
(File approved by ELT)
- G.** Resolution Opposing "Amendment 74," an Attempt to Amend the Colorado Constitution to Drastically Limit State and Local Government Services at High Costs to Taxpayers
(File approved by ELT)
- H.** Resolution in Support of Proposition 110, a Ballot Initiative to Help Address Colorados Transportation Needs
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

- 1.** Resolution Approving Amendment Five to the Agreement between Adams County and Quantum Water Consulting for Environmental Consulting Services
(File approved by ELT)
- 2.** Resolution Approving Change Order Two to the Agreement between Adams County and Martin Marietta Materials Inc., for Roadway Improvement Construction Services
(File approved by ELT)
- 3.** Resolution Approving Change Order Two to the Agreement between Adams County and Jalisco International Inc., for Construction Services for the Scour Critical and Structural Rehabilitation Project
(File approved by ELT)

B. COUNTY ATTORNEY

8. LAND USE HEARINGS

A. Cases to be Heard

- 1.** RCU2018-00013 Watkins Pipeline
(File approved by ELT)
- 2.** RCU2017-00048 Mann Lakes Inert Fill
(File approved by ELT)

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	937,730.78
6	Equipment Service Fund	357,602.45
7	Stormwater Utility Fund	4,098.16
13	Road & Bridge Fund	159,337.15
19	Insurance Fund	544,199.70
27	Open Space Projects Fund	12,002.38
28	Open Space Sales Tax Fund	20,000.00
31	Head Start Fund	22,776.00
34	Comm Services Blk Grant Fund	8,186.56
35	Workforce & Business Center	10,352.74
43	Front Range Airport	26,536.41
50	FLATROCK Facility Fund	1,075.00
		<u>2,103,897.33</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729065	96103	AURORA PUBLIC SCHOOLS	10/01/18	110,000.00
00729069	490725	BREAK THRU BEVERAGE	10/01/18	522.65
00729071	335408	CHABRA AMAN	10/01/18	132.00
00729075	753209	COMMERCE CITY CHAMBER OF COMME	10/01/18	1,100.00
00729076	61609	DAVIS GRAHAM & STUBBS LLP	10/01/18	6,541.50
00729078	418312	DUNCAN NANCY	10/01/18	161.08
00729082	726557	HALL KRISTEN J	10/01/18	76.55
00729085	486419	HIGH COUNTRY BEVERAGE	10/01/18	2,582.00
00729086	8721	HILL & ROBBINS	10/01/18	684.00
00729087	79260	IDEXX DISTRIBUTION INC	10/01/18	251.80
00729088	62528	JEFFERSON COUNTY SHERIFF'S CIV	10/01/18	44.00
00729092	358103	KIMLEY-HORN AND ASSOCIATES INC	10/01/18	32,000.00
00729093	28667	LOCH FANCY	10/01/18	6.00
00729095	422240	MANN LACEY	10/01/18	336.00
00729096	52940	MCDOWELL SHANNON	10/01/18	391.31
00729098	753066	MENDOZA ALONDRA	10/01/18	650.00
00729099	13591	MWI VETERINARY SUPPLY CO	10/01/18	4,674.78
00729100	45515	OFFICE SCAPES	10/01/18	384.00
00729101	418315	OLSON PERNELL	10/01/18	61.69
00729102	429656	OPEX CORPORATION	10/01/18	2,580.00
00729104	669732	PATTERSON VETERINARY SUPPLY IN	10/01/18	469.06
00729105	73963	PERKINS COIE LLP	10/01/18	721.00
00729106	725956	PRUDENTIAL OVERALL SUPPLY	10/01/18	78.70
00729107	664027	RDG PLANNING AND DESIGN	10/01/18	75,000.00
00729108	422902	ROADRUNNER PHARMACY INCORPORAT	10/01/18	391.84
00729114	52553	SWEEPSTAKES UNLIMITED	10/01/18	50.00
00729115	52553	SWEEPSTAKES UNLIMITED	10/01/18	30.00
00729116	52553	SWEEPSTAKES UNLIMITED	10/01/18	50.00
00729118	274002	TIDWELL NATHAN	10/01/18	152.00
00729119	42984	TIME TO CHANGE	10/01/18	26,260.69
00729120	20730	UNITED STATES POSTAL SERVICE	10/01/18	29,125.00
00729125	18645	WILBUR-ELLIS COMPANY LLC	10/01/18	3,187.20
00729126	338508	WRIGHTWAY INDUSTRIES INC	10/01/18	443.05
00729150	753271	ZWINGLER RANDALL	10/01/18	132.00
00729152	630412	ADVANCED LAUNDRY SYSTEMS	10/02/18	93.56
00729153	228213	ARAMARK REFRESHMENT SERVICES	10/02/18	469.57

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729154	37266	CENTURY LINK	10/02/18	97.95
00729155	9902	CHEMATOX LABORATORY INC	10/02/18	1,547.00
00729156	252174	COLORADO COMMUNITY MEDIA	10/02/18	11.60
00729157	646218	COSTER GEOFFRY	10/02/18	1,799.00
00729158	8820091	EON OFFICE PRODUCTS	10/02/18	9,030.00
00729159	744112	FORSMAN KARSON	10/02/18	18.53
00729160	77611	KD SERVICE GROUP	10/02/18	3,562.87
00729161	36861	LEXIS NEXIS MATTHEW BENDER	10/02/18	2,072.99
00729162	176327	PITNEY BOWES	10/02/18	650.91
00729163	3569	ROCKY MTN CONVEYOR & EQUIPT	10/02/18	350.00
00729164	53265	SAMS CLUB	10/02/18	196.27
00729165	13538	SHRED IT USA LLC	10/02/18	180.00
00729166	599714	SUMMIT FOOD SERVICE LLC	10/02/18	74,436.05
00729167	96781	TEMPLE MITCHELL A	10/02/18	147.00
00729168	666214	TYGRETT DEBRA R	10/02/18	400.00
00729169	725336	US CORRECTIONS LLC	10/02/18	3,886.00
00729170	28617	VERIZON WIRELESS	10/02/18	1,358.39
00729171	745748	VIGILANCE PROJECT LLC	10/02/18	250.00
00729172	445583	ALVAREZ MEGAN	10/02/18	152.49
00729173	105802	BLACKHURST RHONDA	10/02/18	111.72
00729174	426162	CAFASSO ROBYN	10/02/18	102.45
00729175	308324	DELGADO NICOLE	10/02/18	41.47
00729176	9687	JACOB, NATALIE M	10/02/18	43.16
00729177	308318	JIMENEZ LARA M	10/02/18	111.94
00729178	632990	PAINE JAMIE	10/02/18	76.19
00729179	222140	PETRI BEARD AMY	10/02/18	99.30
00729180	244513	SALAZAR, DANA L	10/02/18	29.43
00729181	744903	SARCO LINDA	10/02/18	93.63
00729182	222147	SHEIKH TARIQ	10/02/18	136.06
00729183	311515	WOODS JAKE	10/02/18	111.18
00729185	747321	A AND M STEEL INC	10/04/18	1,025.00
00729188	433987	ADCO DISTRICT ATTORNEY'S OFFIC	10/04/18	573.41
00729189	754006	ALEGRIA HERRERA IRIDIAN	10/04/18	19.00
00729190	32273	ALL COPY PRODUCTS INC	10/04/18	92.94
00729191	322973	ARMORED KNIGHTS INC	10/04/18	4,697.22
00729193	1080	AURORA CITY OF	10/04/18	28,680.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729194	754008	BALL JERROD RYAN	10/04/18	19.00
00729195	754009	BELLE CREEK COMMONS	10/04/18	66.00
00729196	494250	BLACK ROOFING INC	10/04/18	40,349.70
00729197	672077	BONDED ADJUSTING SERVICE	10/04/18	19.00
00729199	32456	CACCB	10/04/18	1,200.00
00729201	754012	CAMPUZANO BLANCA O	10/04/18	19.00
00729203	754021	CASTANEDA JESUS CAMILO	10/04/18	19.00
00729207	255194	CHAMBERS HOLDINGS LLC	10/04/18	14,861.55
00729208	740830	CHAPMAN WILLIE LEE	10/04/18	19.00
00729210	661015	CHP METRO NORTH LLC	10/04/18	1,050.00
00729212	63476	COLO CARPET CENTER INC	10/04/18	79,955.22
00729213	169828	COLO DEPT OF HEALTH & ENVIRONM	10/04/18	152.90
00729215	5407	COLO DEPT OF LABOR & EMPLOYME	10/04/18	880.00
00729216	40374	COSTAR REALTY INFORMATION INC	10/04/18	2,948.81
00729217	418853	DEPARTMENT OF LABOR AND EMPLOY	10/04/18	19.00
00729218	3454	DEPT OF FINANCE	10/04/18	17.00
00729219	709719	DISTRICT COURT OF FIRST CIRCUI	10/04/18	9.63
00729222	754022	ELAZHARI ANAS AALI	10/04/18	19.00
00729223	754026	ENRIQUEZ TAYDE OLIVIA	10/04/18	19.00
00729226	669155	EVSTUDIO LLC	10/04/18	75.00
00729229	57888	FRANCY LAW FIRM, PLLC	10/04/18	19.00
00729230	57888	FRANCY LAW FIRM, PLLC	10/04/18	19.00
00729231	57888	FRANCY LAW FIRM, PLLC	10/04/18	19.00
00729233	294059	GROUNDS SERVICE COMPANY	10/04/18	521.50
00729235	14991	HELTON & WILLIAMSEN PC	10/04/18	1,956.75
00729237	754027	HERDER JOSEPHINE L	10/04/18	19.00
00729238	754029	HERNANDEZ ALEX FRANK	10/04/18	19.00
00729239	754030	HERNANDEZ BIANKA MARIE	10/04/18	19.00
00729240	754031	HERNANDEZ ROSEANNE	10/04/18	19.00
00729241	486419	HIGH COUNTRY BEVERAGE	10/04/18	175.70
00729242	219323	HINDMANSANCHEZ	10/04/18	57.00
00729243	520659	HOGLUND CAITLIN	10/04/18	32.86
00729244	358482	HOLST AND BOETTCHER	10/04/18	57.00
00729245	754033	HORTON MICHAEL DEAN	10/04/18	19.00
00729246	226216	HOV SERVICES INC	10/04/18	11,812.82
00729247	418327	IC CHAMBERS LP	10/04/18	6,586.82

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729248	5814	I70 SCOUT THE	10/04/18	105.60
00729249	230516	JANEWAY LAW FIRM PC	10/04/18	19.00
00729250	454772	JEFFERSON COUNTY TREASURER	10/04/18	24.00
00729251	754035	JOHNSON JENNIFER L	10/04/18	19.00
00729252	754036	KARIMI MAHMOOD	10/04/18	19.00
00729253	226207	LABRIE, THERON	10/04/18	500.00
00729254	166138	LAND TITLE GUARANTEE COMPANY	10/04/18	2,861.00
00729255	8808381	LARAMIE COUNTY SHERIFF	10/04/18	5.50
00729258	4863	METROWEST NEWSPAPERS	10/04/18	1,721.72
00729259	93320	MILE HIGH TREE CARE INC	10/04/18	2,500.00
00729260	754039	MOORE TAMMI	10/04/18	19.00
00729261	747959	MORGAN JENETTE	10/04/18	19.00
00729262	602996	MOUNTAIN WEST LAW GROUP, P.C.	10/04/18	38.00
00729263	33716	OLD VINE PINNACLE ASSOCIATES	10/04/18	800.00
00729264	725673	PACIFIC OFFICE AUTOMATION INC	10/04/18	15.89
00729265	754041	PALMIER ELIZABETH	10/04/18	19.00
00729266	45133	PPS INTERIORS	10/04/18	250.00
00729268	44703	QUICKSILVER EXPRESS COURIER	10/04/18	48.31
00729269	430098	REPUBLIC SERVICES #535	10/04/18	517.30
00729270	754043	REYES ANAHIS	10/04/18	19.00
00729271	754046	ROMERO ANDREW CHARLES	10/04/18	19.00
00729273	754047	SANCHEZ CARL ELROY	10/04/18	19.00
00729274	574170	SCHULTZ PUBLIC AFFAIRS LLC	10/04/18	4,333.33
00729275	754051	SHAMES MAKOVSKY REALTY CO	10/04/18	21.00
00729276	13538	SHRED IT USA LLC	10/04/18	100.00
00729277	226456	SIMON HARRY L	10/04/18	19.00
00729278	754052	SPEAKS TARA LEANN	10/04/18	19.00
00729280	243343	STENGER AND STENGER	10/04/18	19.00
00729281	66264	SYSTEMS GROUP	10/04/18	11,201.00
00729283	754053	THUETT DANESSA	10/04/18	19.00
00729284	1094	TRI COUNTY HEALTH DEPT	10/04/18	294,546.00
00729285	754054	TRIMNAL AND MYERS	10/04/18	19.00
00729286	57594	UNIVERSITY PHYSICIANS INC	10/04/18	525.00
00729287	443062	VARIDESK LLC	10/04/18	355.50
00729288	27815	WAKEFIELD & ASSOCIATES INC	10/04/18	19.00
00729289	754056	WEISS DIANE	10/04/18	143.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729293	679697	XU MING	10/04/18	66.00
00729296	754346	ALBANY COUNTY GOVERNMENT	10/05/18	50.00
00729298	754342	BENAVIDES KRYSTAL	10/05/18	75.00
00729301	754333	BSI LLC	10/05/18	225.00
00729304	754325	CHAMPION BOXING	10/05/18	500.00
00729306	327250	CINTAS CORPORATION NO 2	10/05/18	199.42
00729309	754001	D I R SERVICES	10/05/18	1,500.00
00729315	47723	FEDEX	10/05/18	364.36
00729316	754326	FORD MARION	10/05/18	150.00
00729320	754306	HEPP SALLY	10/05/18	650.00
00729324	50433	KANTOLA PRODUCTIONS LLC	10/05/18	7,800.00
00729326	36861	LEXIS NEXIS MATTHEW BENDER	10/05/18	102.31
00729329	754329	MEZA CLAUDIA	10/05/18	75.00
00729330	754334	MILLS MARY KAY	10/05/18	75.00
00729331	754332	MONCADA BIANCA	10/05/18	75.00
00729333	359078	O'MALLEY KRIS	10/05/18	75.00
00729334	34791	OCKER SARA L	10/05/18	100.00
00729335	276363	OKADA DAVID	10/05/18	143.83
00729336	754345	ORTIZ JESSICA	10/05/18	75.00
00729337	754341	OSBOURN TIM	10/05/18	75.00
00729340	754330	PINEDA JOSEPHINE	10/05/18	75.00
00729341	664126	POINTS PROCESS SERVICE CORP	10/05/18	30.00
00729343	48059	RADIO RESOURCE INC	10/05/18	1,050.00
00729344	433855	REECE ZACHARY	10/05/18	75.00
00729345	754344	RETERIA PENA BRIAN	10/05/18	75.00
00729347	754305	RUELAS LUCINDA	10/05/18	150.00
00729348	754331	SANDOVAL ERIC	10/05/18	75.00
00729350	754343	SCHNEIDER BROCK	10/05/18	75.00
00729352	633485	SWAIN DENNIS	10/05/18	80.78
00729353	52553	SWEEPSTAKES UNLIMITED	10/05/18	50.00
00729355	1007	UNITED POWER (UNION REA)	10/05/18	629.51
00729356	1007	UNITED POWER (UNION REA)	10/05/18	26.73
00729357	1007	UNITED POWER (UNION REA)	10/05/18	30.00
00729358	1007	UNITED POWER (UNION REA)	10/05/18	2,617.28
00729359	1007	UNITED POWER (UNION REA)	10/05/18	42.89
00729360	1007	UNITED POWER (UNION REA)	10/05/18	111.33

Net Warrants by Fund Detail

1 **General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729361	754337	VALDEZ BECKY	10/05/18	75.00
00729363	754340	VILLANUEVA AMY	10/05/18	75.00
00729364	13822	XCEL ENERGY	10/05/18	16.75
00729365	3548	YUMA COUNTY SHERIFF	10/05/18	3.00
Fund Total				937,730.78

Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729080	374964	ELWAY DEALERS	10/01/18	115,050.00
00729084	717992	HARLEY-DAVIDSON MOTOR COMPANY	10/01/18	1,190.00
00729089	26418	JOHN DEERE COMPANY	10/01/18	172,412.86
00729111	16237	SAM HILL OIL INC	10/01/18	17,697.98
00729184	11657	A & E TIRE INC	10/04/18	2,524.41
00729267	324769	PRECISE MRM LLC	10/04/18	5,256.00
00729272	16237	SAM HILL OIL INC	10/04/18	16,997.50
00729292	350373	WEX BANK	10/04/18	3,463.70
00729314	374964	ELWAY DEALERS	10/05/18	23,010.00
Fund Total				357,602.45

Net Warrants by Fund Detail

7

Stormwater Utility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729083	381414	HAMPDEN PRESS INC	10/01/18	4,098.16
Fund Total				4,098.16

Net Warrants by Fund Detail

13

Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729198	8909	BRANNAN SAND & GRAVEL COMPANY	10/04/18	3,807.15
00729224	534975	EP&A ENVIROTAC INC	10/04/18	155,530.00
Fund Total				159,337.15

Net Warrants by Fund Detail

19 **Insurance Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729074	17565	COLO FRAME & SUSPENSION	10/01/18	25,638.16
00729122	11552	VISION SERVICE PLAN-CONNECTICU	10/01/18	3,283.45
00729123	11552	VISION SERVICE PLAN-CONNECTICU	10/01/18	289.03
00729124	11552	VISION SERVICE PLAN-CONNECTICU	10/01/18	325.15
00729202	419839	CAREHERE LLC	10/04/18	2,914.50
00729220	754304	EARL AND EARL PLLC	10/04/18	55,000.00
00729227	182042	FIT SOLDIERS FITNESS BOOT CAMP	10/04/18	2,975.00
00729228	34969	FITNESS TECH	10/04/18	565.00
00729256	593329	LAW OFFICE OF RICK BLUNDELL	10/04/18	45,000.00
00729302	419839	CAREHERE LLC	10/05/18	35,875.00
00729307	17565	COLO FRAME & SUSPENSION	10/05/18	13,271.91
00729322	13771	JOE'S TOWING & RECOVERY	10/05/18	88.00
00729339	215754	PEAK FORM PROFESSIONAL LLC	10/05/18	95.00
00729351	78871	SUN ENTERPRISES INC	10/05/18	8,879.50
00729366	754385	ZANER HARDEN LAW LLP	10/05/18	350,000.00
Fund Total				544,199.70

Net Warrants by Fund Detail

27Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729232	296648	GEI CONSULTANTS	10/04/18	1,646.78
00729257	435545	LOGAN SIMPSON DESIGN INC	10/04/18	6,105.60
00729319	70550	GUILDNER PIPELINE MAINTENANCE	10/05/18	4,250.00
Fund Total				12,002.38

Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729068	33607	BENNETT PARKS AND RECREATION D	10/01/18	20,000.00
			Fund Total	20,000.00

Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729070	327914	CESCO LINGUISTIC SERVICE INC	10/01/18	100.65
00729072	166025	CHILDRENS HOSPITAL	10/01/18	1,820.00
00729097	79121	MEADOW GOLD DAIRY	10/01/18	1,311.90
00729117	13770	SYSCO DENVER	10/01/18	12,071.41
00729187	8801361	ADAMS COUNTY SHERIFF DEPT	10/04/18	5.00
00729200	92272	CALDERON SHELLY	10/04/18	16.95
00729204	37266	CENTURY LINK	10/04/18	363.25
00729205	37266	CENTURY LINK	10/04/18	100.68
00729206	152461	CENTURYLINK	10/04/18	11.25
00729209	152245	CHAVEZ MARIA M	10/04/18	20.60
00729211	327250	CINTAS CORPORATION NO 2	10/04/18	270.02
00729214	5078	COLO DEPT OF HUMAN SERVICES	10/04/18	70.00
00729236	100577	HENDERSON CYNDI	10/04/18	121.97
00729290	31360	WESTMINSTER PRESBYTERIAN CHURC	10/04/18	2,180.32
00729291	59983	WESTMINSTER PUBLIC SCHOOLS	10/04/18	2,812.00
00729294	382247	3WESOLUTIONS LLC	10/04/18	1,500.00
Fund Total				22,776.00

Net Warrants by Fund Detail

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Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729186	258636	ADAMS COUNTY FOOD BANK	10/04/18	4,000.35
00729221	190240	ECPAC	10/04/18	739.59
00729225	689894	ETHIOPIAN COMMUNITY DEVELOPMEN	10/04/18	3,251.18
00729234	44825	GROWING HOME INC	10/04/18	195.44
Fund Total				8,186.56

Net Warrants by Fund Detail

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Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729079	650729	ELEMENTS	10/01/18	363.07
00729081	23828	FRANKLIN COVEY	10/01/18	1,895.40
00729090	753164	KARASEV YAROLSAV	10/01/18	80.00
00729094	727648	LUEVANO DALAL	10/01/18	20.00
00729109	753163	ROCHA CARAVEO LUISA MELINA	10/01/18	50.00
00729110	753165	RUBI ANALESSA	10/01/18	20.00
00729113	10449	SIR SPEEDY	10/01/18	846.30
00729295	36820	AGUINIGA CAROL	10/05/18	57.66
00729297	35827	BANKS RACHEL	10/05/18	101.26
00729299	369657	BERNAL JUAN FELIPE	10/05/18	56.46
00729300	99569	BROBST ANNIE	10/05/18	422.45
00729305	90879	CHAVEZ BELIA P	10/05/18	11.99
00729308	1483	COMPUTER SYSTEMS DESIGN	10/05/18	4,800.00
00729311	354196	DUKE STEPHANI	10/05/18	47.96
00729313	38689	ELLIS CHARLES	10/05/18	49.05
00729317	843241	GLASSER NOELLE	10/05/18	173.03
00729318	68923	GONZALEZ JEANETTE	10/05/18	82.30
00729321	71226	JAMES TRUDY	10/05/18	12.86
00729323	281998	KAMMERZELL JODIE	10/05/18	63.64
00729327	62480	MARTINEZ MARTHA	10/05/18	11.23
00729328	580067	MCBOAT GREG	10/05/18	33.25
00729332	679409	NEWTON JENNIFER	10/05/18	148.51
00729338	481825	PARRA ALDO	10/05/18	204.92
00729342	40920	POST REBECCA	10/05/18	80.12
00729346	915166	RODRIGUEZ SONIA	10/05/18	32.81
00729349	357890	SCHAGER BRETT	10/05/18	155.33
00729362	8076	VERIZON WIRELESS	10/05/18	511.88
00729367	83770	ZOBEL GABRIELE	10/05/18	21.26

Fund Total**10,352.74**

Net Warrants by Fund Detail

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Front Range Airport

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729066	351622	AURORA WATER	10/01/18	6,962.74
00729067	351622	AURORA WATER	10/01/18	27.74
00729073	2381	COLO ANALYTICAL LABORATORY	10/01/18	26.00
00729077	80156	DISH NETWORK	10/01/18	143.02
00729091	96049	KEN CARYL GLASS INC	10/01/18	1,556.00
00729103	618136	PARAGON DINING SERVICES	10/01/18	7,306.95
00729112	37110	SB PORTA BOWL RESTROOMS INC	10/01/18	396.00
00729121	80279	VERIZON WIRELESS	10/01/18	473.03
00729127	13822	XCEL ENERGY	10/01/18	12.58
00729128	13822	XCEL ENERGY	10/01/18	13.77
00729129	13822	XCEL ENERGY	10/01/18	14.97
00729130	13822	XCEL ENERGY	10/01/18	16.56
00729131	13822	XCEL ENERGY	10/01/18	35.06
00729132	13822	XCEL ENERGY	10/01/18	55.30
00729133	13822	XCEL ENERGY	10/01/18	56.01
00729134	13822	XCEL ENERGY	10/01/18	58.05
00729135	13822	XCEL ENERGY	10/01/18	68.52
00729136	13822	XCEL ENERGY	10/01/18	71.26
00729137	13822	XCEL ENERGY	10/01/18	72.57
00729138	13822	XCEL ENERGY	10/01/18	77.26
00729139	13822	XCEL ENERGY	10/01/18	84.57
00729140	13822	XCEL ENERGY	10/01/18	85.75
00729141	13822	XCEL ENERGY	10/01/18	154.13
00729142	13822	XCEL ENERGY	10/01/18	188.45
00729143	13822	XCEL ENERGY	10/01/18	229.85
00729144	13822	XCEL ENERGY	10/01/18	287.93
00729145	13822	XCEL ENERGY	10/01/18	355.78
00729146	13822	XCEL ENERGY	10/01/18	429.29
00729147	13822	XCEL ENERGY	10/01/18	1,074.52
00729148	13822	XCEL ENERGY	10/01/18	1,091.97
00729149	13822	XCEL ENERGY	10/01/18	2,060.20
00729192	322973	ARMORED KNIGHTS INC	10/04/18	265.48
00729303	80257	CENTURYLINK	10/05/18	325.69
00729310	556579	DBT TRANSPORTATION SERVICES LL	10/05/18	1,185.00
00729312	13410	EASTERN SLOPE RURAL TELEPHONE	10/05/18	88.63
00729325	96049	KEN CARYL GLASS INC	10/05/18	887.00

Net Warrants by Fund Detail

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Front Range Airport

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729354	80267	SWIMS DISPOSAL	10/05/18	298.78
Fund Total				26,536.41

Net Warrants by Fund Detail

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FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00729279	281167	SPECTRA CONTRACT FLOORING SERV	10/04/18	600.00
00729282	66264	SYSTEMS GROUP	10/04/18	475.00
Fund Total				1,075.00

County of Adams
Net Warrants by Fund Detail

Grand Total 2,103,897.33

County of Adams
Vendor Payment Report

<u>4302</u>	<u>Airport Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	937099	319091	09/27/18	12.58
	XCEL ENERGY	00043	937102	319091	09/27/18	16.56
					Account Total	29.14
	Telephone					
	CENTURYLINK	00043	937611	319637	09/30/18	51.84
	VERIZON WIRELESS	00043	937091	319073	09/27/18	433.00
					Account Total	484.84
	Water/Sewer/Sanitation					
	SB PORTA BOWL RESTROOMS INC	00043	937089	319073	09/27/18	396.00
	SWIMS DISPOSAL	00043	937614	319637	10/04/18	298.78
					Account Total	694.78
					Department Total	1,208.76

County of Adams
Vendor Payment Report

<u>4308</u>	<u>Airport ATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	937101	319091	09/27/18	14.97
	XCEL ENERGY	00043	937120	319097	09/27/18	1,091.97
					Account Total	1,106.94
	Telephone					
	CENTURYLINK	00043	937611	319637	09/30/18	51.71
	CENTURYLINK	00043	937611	319637	09/30/18	125.26
					Account Total	176.97
					Department Total	1,283.91

County of Adams
Vendor Payment Report

<u>4303</u>	<u>Airport FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	937104	319091	09/27/18	55.30
					Account Total	55.30
	Satellite Television					
	DISH NETWORK	00043	937087	319073	09/27/18	143.02
					Account Total	143.02
	Telephone					
	CENTURYLINK	00043	937611	319637	09/30/18	48.29
	VERIZON WIRELESS	00043	937091	319073	09/27/18	40.03
					Account Total	88.32
					Department Total	286.64

County of Adams
Vendor Payment Report

<u>4304</u>	<u>Airport Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	KEN CARYL GLASS INC	00043	937088	319073	09/27/18	1,556.00
	KEN CARYL GLASS INC	00043	937613	319637	09/30/18	887.00
					Account Total	2,443.00
	Gas & Electricity					
	XCEL ENERGY	00043	937100	319091	09/27/18	13.77
	XCEL ENERGY	00043	937103	319091	09/27/18	469.60
	XCEL ENERGY	00043	937103	319091	09/27/18	596.59-
	XCEL ENERGY	00043	937103	319091	09/27/18	162.05
	XCEL ENERGY	00043	937105	319094	09/27/18	56.01
	XCEL ENERGY	00043	937106	319094	09/27/18	58.05
	XCEL ENERGY	00043	937107	319094	09/27/18	68.52
	XCEL ENERGY	00043	937108	319094	09/27/18	71.26
	XCEL ENERGY	00043	937109	319094	09/27/18	72.57
	XCEL ENERGY	00043	937110	319094	09/27/18	77.26
	XCEL ENERGY	00043	937111	319096	09/27/18	42.46
	XCEL ENERGY	00043	937111	319096	09/27/18	42.11
	XCEL ENERGY	00043	937112	319096	09/27/18	85.75
	XCEL ENERGY	00043	937113	319096	09/27/18	154.13
	XCEL ENERGY	00043	937114	319096	09/27/18	146.48
	XCEL ENERGY	00043	937114	319096	09/27/18	41.97
	XCEL ENERGY	00043	937115	319096	09/27/18	1,000.85
	XCEL ENERGY	00043	937115	319096	09/27/18	771.00-
	XCEL ENERGY	00043	937116	319096	09/27/18	1,368.45
	XCEL ENERGY	00043	937116	319096	09/27/18	1,080.52-
	XCEL ENERGY	00043	937117	319097	09/27/18	778.87
	XCEL ENERGY	00043	937117	319097	09/27/18	45.96
	XCEL ENERGY	00043	937117	319097	09/27/18	469.05-
	XCEL ENERGY	00043	937118	319097	09/27/18	429.29
	XCEL ENERGY	00043	937121	319097	09/27/18	1,959.17
	XCEL ENERGY	00043	937121	319097	09/27/18	101.03
					Account Total	4,328.45
	Telephone					
	EASTERN SLOPE RURAL TELEPHONE	00043	937612	319637	10/04/18	88.63
					Account Total	88.63

County of Adams
Vendor Payment Report

<u>4304</u>	<u>Airport Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Department Total	<u><u>6,860.08</u></u>

County of Adams
Vendor Payment Report

<u>99800</u>	<u>All Ofc Shared Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	DUKE STEPHANI	00035	937492	319508	09/30/18	<u>47.96</u>
					Account Total	<u>47.96</u>
					Department Total	<u><u>47.96</u></u>

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	COLORADO COMMUNITY MEDIA	00001	937251	319198	09/28/18	11.60
	I70 SCOUT THE	00001	937559	319546	10/03/18	105.60
					Account Total	<u>117.20</u>
					Department Total	<u><u>117.20</u></u>

County of Adams
Vendor Payment Report

<u>1024</u>	<u>Budget Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	OLSON PERNELL	00001	937123	319158	09/28/18	61.69
					Account Total	61.69
	Special Events					
	DUNCAN NANCY	00001	937215	319158	09/28/18	90.08
					Account Total	90.08
	Travel & Transportation					
	DUNCAN NANCY	00001	937213	319158	09/28/18	71.00
					Account Total	71.00
					Department Total	<u>222.77</u>

County of Adams
Vendor Payment Report

<u>4306</u>	<u>Cafe</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Snack Bar Supplies, Rep & Main					
	PARAGON DINING SERVICES	00043	937092	319077	09/27/18	<u>7,306.95</u>
					Account Total	<u>7,306.95</u>
					Department Total	<u><u>7,306.95</u></u>

County of Adams
Vendor Payment Report

<u>1010</u>	<u>Communications</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	CHABRA AMAN	00001	937214	319158	09/28/18	132.00
	ZWINGLER RANDALL	00001	937217	319158	09/28/18	132.00
					Account Total	<u>264.00</u>
					Department Total	<u><u>264.00</u></u>

County of Adams
Vendor Payment Report

<u>9275</u>	<u>Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	CACCB	00001	937511	319521	10/03/18	<u>1,200.00</u>
					Account Total	<u>1,200.00</u>
					Department Total	<u><u>1,200.00</u></u>

County of Adams
Vendor Payment Report

<u>1041</u>	<u>County Assessor</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	COSTAR REALTY INFORMATION INC	00001	937326	319390	10/02/18	2,948.81
					Account Total	2,948.81
	Operating Supplies					
	ALL COPY PRODUCTS INC	00001	937325	319390	10/02/18	92.94
					Account Total	92.94
					Department Total	3,041.75

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	LEXIS NEXIS MATTHEW BENDER	00001	937548	319531	10/03/18	102.31
					Account Total	102.31
	Messenger/Delivery Service					
	FEDEX	00001	937552	319531	10/03/18	364.36
					Account Total	364.36
	Other Professional Serv					
	ALBANY COUNTY GOVERNMENT	00001	937553	319531	10/03/18	50.00
	JEFFERSON COUNTY SHERIFF'S CIV	00001	936737	318736	09/24/18	44.00
	POINTS PROCESS SERVICE CORP	00001	937550	319531	10/03/18	30.00
	SWEEPSTAKES UNLIMITED	00001	936734	318736	09/24/18	50.00
	SWEEPSTAKES UNLIMITED	00001	936735	318736	09/24/18	30.00
	SWEEPSTAKES UNLIMITED	00001	936736	318736	09/24/18	50.00
	SWEEPSTAKES UNLIMITED	00001	937551	319531	10/03/18	50.00
	YUMA COUNTY SHERIFF	00001	937549	319531	10/03/18	3.00
					Account Total	307.00
					Department Total	773.67

County of Adams
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	METROWEST NEWSPAPERS	00001	937543	319529	10/03/18	110.88
	METROWEST NEWSPAPERS	00001	937544	319529	10/03/18	523.60
	METROWEST NEWSPAPERS	00001	937545	319529	10/03/18	1,087.24
					Account Total	1,721.72
	Maintenance Contracts					
	PACIFIC OFFICE AUTOMATION INC	00001	937546	319529	10/03/18	15.89
					Account Total	15.89
					Department Total	1,737.61

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety-Drug & AI Test/Med Cert					
	PEAK FORM PROFESSIONAL LLC	00019	937555	319531	10/03/18	<u>95.00</u>
					Account Total	<u>95.00</u>
					Department Total	<u><u>95.00</u></u>

County of Adams
Vendor Payment Report

<u>9277</u>	<u>CC Program Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	TIME TO CHANGE	00001	937125	319158	09/28/18	5,229.28
	TIME TO CHANGE	00001	937125	319158	09/28/18	7,051.17
	TIME TO CHANGE	00001	937125	319158	09/28/18	7,694.24
	TIME TO CHANGE	00001	937125	319158	09/28/18	6,286.00
					Account Total	26,260.69
					Department Total	26,260.69

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	HALL KRISTEN J	00001	937231	319195	09/28/18	76.55
	LOCH FANCY	00001	937232	319195	09/28/18	6.00
					Account Total	82.55
					Department Total	82.55

County of Adams
Vendor Payment Report

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ADAMS COUNTY FOOD BANK	00034	936616	318695	09/24/18	4,000.35
	ECPAC	00034	936617	318695	09/24/18	739.59
	ETHIOPIAN COMMUNITY DEVELOPMEN	00034	936615	318695	09/24/18	3,251.18
	GROWING HOME INC	00034	936618	318695	09/24/18	195.44
					Account Total	8,186.56
					Department Total	8,186.56

**County of Adams
Vendor Payment Report**

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BLACKHURST RHONDA	00001	937253	319202	09/28/18	103.22
	BLACKHURST RHONDA	00001	937253	319202	09/28/18	8.50
	CAFASSO ROBYN	00001	937254	319202	09/28/18	97.45
	CAFASSO ROBYN	00001	937254	319202	09/28/18	5.00
	DELGADO NICOLE	00001	937255	319202	09/28/18	41.47
	JACOB, NATALIE M	00001	937262	319204	09/28/18	43.16
	JIMENEZ LARA M	00001	937256	319202	09/28/18	111.94
	PAINE JAMIE	00001	937257	319202	09/28/18	76.19
	PETRI BEARD AMY	00001	937258	319202	09/28/18	99.30
	SALAZAR, DANA L	00001	937263	319204	09/28/18	29.43
	SARCO LINDA	00001	937259	319202	09/28/18	93.63
	SHEIKH TARIQ	00001	937260	319202	09/28/18	106.06
	SHEIKH TARIQ	00001	937260	319202	09/28/18	30.00
	WOODS JAKE	00001	937261	319202	09/28/18	111.18
					Account Total	956.53
	Other Professional Serv					
	DEPT OF FINANCE	00001	937556	319538	10/03/18	17.00
	DISTRICT COURT OF FIRST CIRCUIT	00001	937561	319538	10/03/18	9.63
	LARAMIE COUNTY SHERIFF	00001	937562	319538	10/03/18	5.50
	UNIVERSITY PHYSICIANS INC	00001	937560	319538	10/03/18	525.00
					Account Total	557.13
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	937557	319538	10/03/18	30.24
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	937557	319538	10/03/18	192.40
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	937557	319538	10/03/18	35.36
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	937557	319538	10/03/18	158.98
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	937557	319538	10/03/18	139.57
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	937557	319538	10/03/18	16.86
					Account Total	573.41
					Department Total	2,087.07

County of Adams
Vendor Payment Report

<u>9261</u>	<u>DA- Diversion Project</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ALVAREZ MEGAN	00001	937252	319202	09/28/18	<u>152.49</u>
					Account Total	<u>152.49</u>
					Department Total	<u><u>152.49</u></u>

County of Adams
Vendor Payment Report

<u>99500</u>	<u>Employment First</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Staff Education - Enhanced FRANKLIN COVEY	00035	936841	318942	09/26/18	1,895.40
					Account Total	1,895.40
					Department Total	1,895.40

County of Adams
Vendor Payment Report

<u>97802</u>	<u>Employment Support Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BANKS RACHEL	00035	937487	319508	09/30/18	<u>81.09</u>
					Account Total	<u>81.09</u>
					Department Total	<u><u>81.09</u></u>

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	A & E TIRE INC	00006	937591	319632	10/04/18	801.42
	A & E TIRE INC	00006	937592	319632	10/04/18	1,395.99
	A & E TIRE INC	00006	937593	319632	10/04/18	327.00
	ELWAY DEALERS	00006	937138	319163	09/28/18	23,010.00
	ELWAY DEALERS	00006	937140	319163	09/28/18	23,010.00
	ELWAY DEALERS	00006	937141	319163	09/28/18	23,010.00
	ELWAY DEALERS	00006	937142	319163	09/28/18	23,010.00
	ELWAY DEALERS	00006	937143	319163	09/28/18	23,010.00
	ELWAY DEALERS	00006	938005	319754	10/05/18	23,010.00
	JOHN DEERE COMPANY	00006	937276	319163	09/30/18	85,038.00
	JOHN DEERE COMPANY	00006	937276	319163	09/30/18	85,038.00
	JOHN DEERE COMPANY	00006	937276	319163	09/30/18	1,168.43
	JOHN DEERE COMPANY	00006	937276	319163	09/30/18	1,168.43
	PRECISE MRM LLC	00006	937594	319632	10/04/18	5,256.00
	SAM HILL OIL INC	00006	937189	319163	09/28/18	1,063.77
	SAM HILL OIL INC	00006	937191	319163	09/28/18	16,634.21
	SAM HILL OIL INC	00006	937595	319632	10/04/18	16,997.50
	WEX BANK	00006	937596	319632	10/04/18	3,463.70
					Account Total	356,412.45
					Department Total	356,412.45

County of Adams
Vendor Payment Report

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	MANN LACEY	00001	936813	318929	09/26/18	<u>336.00</u>
					Account Total	<u>336.00</u>
					Department Total	<u><u>336.00</u></u>

County of Adams
Vendor Payment Report

<u>9111</u>	<u>Fleet- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	HARLEY-DAVIDSON MOTOR COMPANY	00006	936847	318959	09/26/18	<u>1,190.00</u>
					Account Total	<u>1,190.00</u>
					Department Total	<u><u>1,190.00</u></u>

County of Adams
Vendor Payment Report

<u>43</u>	<u>Front Range Airport</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DBT TRANSPORTATION SERVICES LL	00043	937989	319754	10/05/18	<u>1,185.00</u>
					Account Total	<u>1,185.00</u>
					Department Total	<u><u>1,185.00</u></u>

County of Adams
Vendor Payment Report

<u>50</u>	<u>FLATROCK Facility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	SPECTRA CONTRACT FLOORING SERV	00050	937586	319632	10/04/18	600.00
	SYSTEMS GROUP	00050	937585	319632	10/04/18	475.00
					Account Total	1,075.00
					Department Total	1,075.00

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	CHAMBERS HOLDINGS LLC	00001	937316	319383	10/02/18	14,861.55
	IC CHAMBERS LP	00001	937319	319383	10/02/18	6,586.82
					Account Total	21,448.37
	Consultant Services					
	LAND TITLE GUARANTEE COMPANY	00001	937315	319383	10/02/18	500.00
					Account Total	500.00
					Department Total	21,948.37

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grounds Maintenance					
	REPUBLIC SERVICES #535	00001	937321	319383	10/02/18	315.00
					Account Total	315.00
	Water/Sewer/Sanitation					
	REPUBLIC SERVICES #535	00001	937321	319383	10/02/18	202.30
					Account Total	202.30
					Department Total	517.30

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	BLACK ROOFING INC	00001	937317	319383	10/02/18	748.00
	PPS INTERIORS	00001	937318	319383	10/02/18	250.00
					Account Total	998.00
	Maintenance Contracts					
	MILE HIGH TREE CARE INC	00001	937322	319383	10/02/18	2,500.00
					Account Total	2,500.00
					Department Total	3,498.00

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO DEPT OF LABOR & EMPLOYME	00001	937324	319385	10/02/18	<u>720.00</u>
					Account Total	<u>720.00</u>
					Department Total	<u><u>720.00</u></u>

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO DEPT OF HEALTH & ENVIRONM	00001	937323	319384	10/02/18	<u>152.90</u>
					Account Total	<u>152.90</u>
					Department Total	<u><u>152.90</u></u>

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO DEPT OF LABOR & EMPLOYME	00001	937324	319385	10/02/18	<u>160.00</u>
					Account Total	<u>160.00</u>
					Department Total	<u><u>160.00</u></u>

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ADVANCED LAUNDRY SYSTEMS	00001	937233	319196	09/28/18	93.56
	ARMORED KNIGHTS INC	00001	937568	319632	10/04/18	1,018.26
	ARMORED KNIGHTS INC	00001	937568	319632	10/04/18	408.24
	ARMORED KNIGHTS INC	00001	937568	319632	10/04/18	206.49
	ARMORED KNIGHTS INC	00001	937570	319632	10/04/18	1,018.26
	ARMORED KNIGHTS INC	00001	937570	319632	10/04/18	206.49
	ARMORED KNIGHTS INC	00001	937570	319632	10/04/18	408.24
	ARMORED KNIGHTS INC	00001	937571	319632	10/04/18	1,018.26
	ARMORED KNIGHTS INC	00001	937571	319632	10/04/18	206.49
	ARMORED KNIGHTS INC	00001	937571	319632	10/04/18	206.49
	ARMORED KNIGHTS INC	00001	937575	319632	10/04/18	265.48
	AURORA CITY OF	00001	937577	319632	10/04/18	28,680.00
	BLACK ROOFING INC	00001	937582	319632	10/04/18	18,615.00
	BLACK ROOFING INC	00001	937582	319632	10/04/18	23,071.00
	BREAK THRU BEVERAGE	00001	937147	319163	09/28/18	107.05
	BREAK THRU BEVERAGE	00001	937148	319163	09/28/18	415.60
	CHEMATOX LABORATORY INC	00001	937234	319196	09/28/18	24.30
	CHEMATOX LABORATORY INC	00001	937234	319196	09/28/18	1,151.70
	CHEMATOX LABORATORY INC	00001	937235	319196	09/28/18	371.00
	CHP METRO NORTH LLC	00001	937588	319632	10/04/18	1,050.00
	COLO CARPET CENTER INC	00001	937583	319632	10/04/18	76,206.23
	COLO CARPET CENTER INC	00001	937583	319632	10/04/18	3,748.99
	EON OFFICE PRODUCTS	00001	937236	319196	09/28/18	9,030.00
	EVSTUDIO LLC	00001	937576	319632	10/04/18	75.00
	GROUNDS SERVICE COMPANY	00001	937606	319632	10/04/18	191.50
	GROUNDS SERVICE COMPANY	00001	937607	319632	10/04/18	280.00
	GROUNDS SERVICE COMPANY	00001	937608	319632	10/04/18	50.00
	HELTON & WILLIAMSEN PC	00001	937578	319632	10/04/18	1,956.75
	HIGH COUNTRY BEVERAGE	00001	937146	319163	09/28/18	2,582.00
	HIGH COUNTRY BEVERAGE	00001	937437	319498	10/03/18	175.70
	HILL & ROBBINS	00001	937131	319163	09/28/18	684.00
	HOV SERVICES INC	00001	937589	319632	10/04/18	11,812.82
	IDEXX DISTRIBUTION INC	00001	937202	319163	09/28/18	251.80
	KANTOLA PRODUCTIONS LLC	00001	937988	319754	10/05/18	7,800.00
	KD SERVICE GROUP	00001	937237	319196	09/28/18	2,149.40

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Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	KD SERVICE GROUP	00001	937238	319196	09/28/18	1,018.22
	KD SERVICE GROUP	00001	937239	319196	09/28/18	395.25
	KIMLEY-HORN AND ASSOCIATES INC	00001	937145	319163	09/28/18	32,000.00
	LEXIS NEXIS MATTHEW BENDER	00001	937240	319196	09/28/18	2,072.99
	MWI VETERINARY SUPPLY CO	00001	937196	319163	09/28/18	717.99
	MWI VETERINARY SUPPLY CO	00001	937197	319163	09/28/18	164.71
	MWI VETERINARY SUPPLY CO	00001	937198	319163	09/28/18	63.95
	MWI VETERINARY SUPPLY CO	00001	937199	319163	09/28/18	23.74
	MWI VETERINARY SUPPLY CO	00001	937200	319163	09/28/18	96.11
	MWI VETERINARY SUPPLY CO	00001	937203	319163	09/28/18	3,608.28
	OFFICE SCAPES	00001	937136	319163	09/28/18	384.00
	OLD VINE PINNACLE ASSOCIATES	00001	937587	319632	10/04/18	800.00
	OPEX CORPORATION	00001	937137	319163	09/28/18	2,580.00
	PATTERSON VETERINARY SUPPLY IN	00001	937195	319163	09/28/18	164.86
	PATTERSON VETERINARY SUPPLY IN	00001	937204	319163	09/28/18	304.20
	PERKINS COIE LLP	00001	937130	319163	09/28/18	721.00
	PITNEY BOWES	00001	937242	319196	09/28/18	650.91
	PRUDENTIAL OVERALL SUPPLY	00001	937194	319163	09/28/18	78.70
	RADIO RESOURCE INC	00001	937995	319754	10/05/18	1,050.00
	RDG PLANNING AND DESIGN	00001	937144	319163	09/28/18	75,000.00
	ROADRUNNER PHARMACY INCORPORAT	00001	937205	319163	09/28/18	190.24
	ROADRUNNER PHARMACY INCORPORAT	00001	937206	319163	09/28/18	201.60
	ROCKY MTN CONVEYOR & EQUIPT	00001	937241	319196	09/28/18	350.00
	SCHULTZ PUBLIC AFFAIRS LLC	00001	937590	319632	10/04/18	4,333.33
	SUMMIT FOOD SERVICE LLC	00001	937246	319196	09/28/18	32,158.36
	SUMMIT FOOD SERVICE LLC	00001	937247	319196	09/28/18	5,536.72
	SUMMIT FOOD SERVICE LLC	00001	937248	319196	09/28/18	5,240.59
	SUMMIT FOOD SERVICE LLC	00001	937248	319196	09/28/18	506.28
	SUMMIT FOOD SERVICE LLC	00001	937249	319196	09/28/18	30,982.93
	SYSTEMS GROUP	00001	937584	319632	10/04/18	11,201.00
	TRI COUNTY HEALTH DEPT	00001	937609	319632	10/04/18	294,546.00
	TYGRETT DEBRA R	00001	937250	319196	09/28/18	400.00
	UNITED STATES POSTAL SERVICE	00001	937135	319163	09/28/18	29,125.00
	US CORRECTIONS LLC	00001	937243	319196	09/28/18	1,753.00
	US CORRECTIONS LLC	00001	937244	319196	09/28/18	1,095.00
	US CORRECTIONS LLC	00001	937245	319196	09/28/18	1,038.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	WILBUR-ELLIS COMPANY LLC	00001	937132	319163	09/28/18	940.40
	WILBUR-ELLIS COMPANY LLC	00001	937132	319163	09/28/18	2,246.80
	WRIGHTWAY INDUSTRIES INC	00001	937192	319163	09/28/18	193.50
	WRIGHTWAY INDUSTRIES INC	00001	937207	319163	09/28/18	249.55
					Account Total	739,719.31
	Retainages Payable					
	BLACK ROOFING INC	00001	937582	319632	10/04/18	930.75-
	BLACK ROOFING INC	00001	937582	319632	10/04/18	1,153.55-
					Account Total	2,084.30-
					Department Total	737,635.01

County of Adams
Vendor Payment Report

<u>98600</u>	<u>Governor's Summer Job Hunt</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	937484	319508	09/30/18	8.94
	ELLIS CHARLES	00035	937493	319508	09/30/18	13.08
	NEWTON JENNIFER	00035	937503	319508	09/30/18	51.39
	SCHAGER BRETT	00035	937507	319508	09/30/18	14.17
					Account Total	87.58
	Printing External					
	SIR SPEEDY	00035	936843	318942	09/26/18	846.30
					Account Total	846.30
					Department Total	933.88

County of Adams
Vendor Payment Report

<u>9252</u>	<u>GF- Admin/Org Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	AURORA PUBLIC SCHOOLS	00001	936797	318842	09/25/18	110,000.00
	LAND TITLE GUARANTEE COMPANY	00001	936849	318974	09/26/18	2,361.00
					Account Total	112,361.00
	Membership Dues					
	COMMERCE CITY CHAMBER OF COMME	00001	937124	319158	09/28/18	1,100.00
					Account Total	1,100.00
	Other Professional Serv					
	DAVIS GRAHAM & STUBBS LLP	00001	936733	318736	09/24/18	6,541.50
					Account Total	6,541.50
					Department Total	120,002.50

County of Adams
Vendor Payment Report

31	Head Start Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	CESCO LINGUISTIC SERVICE INC	00031	937164	319163	09/28/18	100.65
	CHILDRENS HOSPITAL	00031	937163	319163	09/28/18	1,820.00
	MEADOW GOLD DAIRY	00031	937165	319163	09/28/18	92.40
	MEADOW GOLD DAIRY	00031	937170	319163	09/28/18	79.20
	MEADOW GOLD DAIRY	00031	937171	319163	09/28/18	120.15
	MEADOW GOLD DAIRY	00031	937172	319163	09/28/18	79.20
	MEADOW GOLD DAIRY	00031	937174	319163	09/28/18	52.80
	MEADOW GOLD DAIRY	00031	937175	319163	09/28/18	53.40
	MEADOW GOLD DAIRY	00031	937176	319163	09/28/18	26.40
	MEADOW GOLD DAIRY	00031	937177	319163	09/28/18	39.60
	MEADOW GOLD DAIRY	00031	937178	319163	09/28/18	52.80
	MEADOW GOLD DAIRY	00031	937179	319163	09/28/18	52.80
	MEADOW GOLD DAIRY	00031	937180	319163	09/28/18	79.20
	MEADOW GOLD DAIRY	00031	937181	319163	09/28/18	39.60
	MEADOW GOLD DAIRY	00031	937182	319163	09/28/18	52.80
	MEADOW GOLD DAIRY	00031	937183	319163	09/28/18	53.40
	MEADOW GOLD DAIRY	00031	937184	319163	09/28/18	53.40
	MEADOW GOLD DAIRY	00031	937185	319163	09/28/18	53.40
	MEADOW GOLD DAIRY	00031	937186	319163	09/28/18	118.80
	MEADOW GOLD DAIRY	00031	937187	319163	09/28/18	92.40
	MEADOW GOLD DAIRY	00031	937188	319163	09/28/18	120.15
	SYSCO DENVER	00031	937154	319163	09/28/18	28.90
	SYSCO DENVER	00031	937155	319163	09/28/18	100.08
	SYSCO DENVER	00031	937156	319163	09/28/18	3,517.82
	SYSCO DENVER	00031	937157	319163	09/28/18	633.66
	SYSCO DENVER	00031	937158	319163	09/28/18	2,978.15
	SYSCO DENVER	00031	937159	319163	09/28/18	246.26
	SYSCO DENVER	00031	937160	319163	09/28/18	4,079.68
	SYSCO DENVER	00031	937162	319163	09/28/18	486.86
					Account Total	15,303.96
					Department Total	15,303.96

County of Adams
Vendor Payment Report

<u>935118</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	WESTMINSTER PRESBYTERIAN CHURC	00031	937285	319285	10/01/18	2,180.32
	WESTMINSTER PUBLIC SCHOOLS	00031	937286	319285	10/01/18	2,812.00
					Account Total	4,992.32
	Education & Training					
	3WESOLUTIONS LLC	00031	937284	319285	10/01/18	1,500.00
					Account Total	1,500.00
	Mileage Reimbursements					
	CALDERON SHELLY	00031	937287	319286	10/01/18	16.95
	CHAVEZ MARIA M	00031	937288	319286	10/01/18	20.60
	HENDERSON CYNDI	00031	937289	319286	10/01/18	99.46
	HENDERSON CYNDI	00031	937290	319286	10/01/18	22.51
					Account Total	159.52
	Operating Supplies					
	CINTAS CORPORATION NO 2	00031	937281	319285	10/01/18	135.01
	CINTAS CORPORATION NO 2	00031	937282	319285	10/01/18	135.01
					Account Total	270.02
	Other Professional Serv					
	ADAMS COUNTY SHERIFF DEPT	00031	937314	319285	10/01/18	5.00
	COLO DEPT OF HUMAN SERVICES	00031	937283	319285	10/01/18	70.00
					Account Total	75.00
	Telephone					
	CENTURY LINK	00031	937278	319285	10/01/18	363.25
	CENTURY LINK	00031	937279	319285	10/01/18	100.68
	CENTURYLINK	00031	937280	319285	10/01/18	11.25
					Account Total	475.18
					Department Total	7,472.04

County of Adams
Vendor Payment Report

<u>8622</u>	<u>Insurance -Benefits & Wellness</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	FITNESS TECH	00019	937296	319290	10/01/18	275.00
	FITNESS TECH	00019	937297	319290	10/01/18	290.00
					Account Total	<u>565.00</u>
					Department Total	<u><u>565.00</u></u>

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CAREHERE LLC	00019	937512	319523	10/03/18	2,914.50
	CAREHERE LLC	00019	937986	319754	10/05/18	9,324.00
	CAREHERE LLC	00019	937986	319754	10/05/18	8,613.50
	CAREHERE LLC	00019	937987	319754	10/05/18	8,613.50
	CAREHERE LLC	00019	937987	319754	10/05/18	9,324.00
	COLO FRAME & SUSPENSION	00019	937150	319163	09/28/18	2,241.33
	COLO FRAME & SUSPENSION	00019	937150	319163	09/28/18	23,396.83
	COLO FRAME & SUSPENSION	00019	937990	319754	10/05/18	8,488.37
	COLO FRAME & SUSPENSION	00019	937991	319754	10/05/18	4,783.54
	FIT SOLDIERS FITNESS BOOT CAMP	00019	937510	319523	10/03/18	2,975.00
	JOE'S TOWING & RECOVERY	00019	937992	319754	10/05/18	88.00
					Account Total	80,762.57
					Department Total	80,762.57

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	SUN ENTERPRISES INC	00019	937554	319531	10/03/18	8,879.50
					Account Total	<u>8,879.50</u>
	General Liab - Other than Prop					
	EARL AND EARL PLLC	00019	937491	319511	10/03/18	55,000.00
	LAW OFFICE OF RICK BLUNDELL	00019	937391	319414	10/02/18	45,000.00
	ZANER HARDEN LAW LLP	00019	937542	319527	10/03/18	350,000.00
					Account Total	<u>450,000.00</u>
					Department Total	<u><u>458,879.50</u></u>

County of Adams
Vendor Payment Report

<u>8623</u>	<u>Insurance- Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Self-Insurance Claims					
	VISION SERVICE PLAN-CONNECTICU	00019	937209	319158	09/28/18	3,283.45
	VISION SERVICE PLAN-CONNECTICU	00019	937211	319158	09/28/18	325.15
					Account Total	<u>3,608.60</u>
					Department Total	<u><u>3,608.60</u></u>

County of Adams
Vendor Payment Report

<u>1056</u>	<u>IT Help Desk & Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	OKADA DAVID	00001	937615	319636	10/04/18	143.83
					Account Total	143.83
	Travel & Transportation					
	TIDWELL NATHAN	00001	937126	319158	09/28/18	152.00
					Account Total	152.00
					Department Total	295.83

County of Adams
Vendor Payment Report

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	GUILDNER PIPELINE MAINTENANCE	00027	937519	319526	10/03/18	<u>4,250.00</u>
					Account Total	<u>4,250.00</u>
					Department Total	<u><u>4,250.00</u></u>

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	GEI CONSULTANTS	00027	937579	319632	10/04/18	1,646.78
	LOGAN SIMPSON DESIGN INC	00027	937580	319632	10/04/18	3,063.20
	LOGAN SIMPSON DESIGN INC	00027	937581	319632	10/04/18	3,042.40
					Account Total	<u>7,752.38</u>
					Department Total	<u><u>7,752.38</u></u>

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BENNETT PARKS AND RECREATION D	00028	936798	318842	09/25/18	<u>20,000.00</u>
					Account Total	<u>20,000.00</u>
					Department Total	<u><u>20,000.00</u></u>

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	A AND M STEEL INC	00001	937320	319383	10/02/18	<u>1,025.00</u>
					Account Total	<u>1,025.00</u>
					Department Total	<u><u>1,025.00</u></u>

County of Adams
Vendor Payment Report

<u>1015</u>	<u>People & Culture - Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Messenger/Delivery Service					
	QUICKSILVER EXPRESS COURIER	00001	937221	319179	09/28/18	48.31
					Account Total	48.31
	Mileage Reimbursements					
	HOGLUND CAITLIN	00001	937218	319178	09/28/18	32.86
					Account Total	32.86
	Minor Equipment					
	VARIDESK LLC	00001	937223	319179	09/28/18	355.50
					Account Total	355.50
	Operating Supplies					
	SWAIN DENNIS	00001	937985	319753	10/05/18	80.78
					Account Total	80.78
	Other Professional Serv					
	SHRED IT USA LLC	00001	937222	319179	09/28/18	100.00
					Account Total	100.00
	Subscrip/Publications					
	JEFFERSON COUNTY TREASURER	00001	937219	319179	09/28/18	24.00
					Account Total	24.00
	Tuition Reimbursement					
	LABRIE, THERON	00001	937220	319179	09/28/18	500.00
					Account Total	500.00
					Department Total	1,141.45

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	MCDOWELL SHANNON	00001	937039	319043	09/27/18	<u>391.31</u>
					Account Total	<u>391.31</u>
					Department Total	<u><u>391.31</u></u>

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair & Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fair Expenses-General					
	OCKER SARA L	00001	937173	319168	09/28/18	100.00
					Account Total	100.00
	Regional Park Rentals					
	BENAVIDES KRYSTAL	00001	937513	319526	10/03/18	75.00
	BSI LLC	00001	937514	319526	10/03/18	225.00
	CHAMPION BOXING	00001	937515	319526	10/03/18	500.00
	FORD MARION	00001	937518	319526	10/03/18	150.00
	HEPP SALLY	00001	937520	319526	10/03/18	650.00
	MENDOZA ALONDRA	00001	937040	319043	09/27/18	650.00
	MEZA CLAUDIA	00001	937521	319526	10/03/18	75.00
	MILLS MARY KAY	00001	937523	319526	10/03/18	75.00
	MONCADA BIANCA	00001	937522	319526	10/03/18	75.00
	O'MALLEY KRIS	00001	937524	319526	10/03/18	75.00
	ORTIZ JESSICA	00001	937525	319526	10/03/18	75.00
	OSBOURN TIM	00001	937526	319526	10/03/18	75.00
	PINEDA JOSEPHINE	00001	937527	319526	10/03/18	75.00
	REECE ZACHARY	00001	937528	319526	10/03/18	75.00
	RETERIA PENA BRIAN	00001	937529	319526	10/03/18	75.00
	RUELAS LUCINDA	00001	937530	319526	10/03/18	150.00
	SANDOVAL ERIC	00001	937531	319526	10/03/18	75.00
	SCHNEIDER BROCK	00001	937532	319526	10/03/18	75.00
	VALDEZ BECKY	00001	937539	319526	10/03/18	75.00
	VILLANUEVA AMY	00001	937540	319526	10/03/18	75.00
					Account Total	3,375.00
					Department Total	3,475.00

County of Adams
Vendor Payment Report

<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	937536	319526	10/03/18	2,617.28
	UNITED POWER (UNION REA)	00001	937537	319526	10/03/18	42.89
					Account Total	2,660.17
					Department Total	2,660.17

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	937533	319526	10/03/18	629.51
	UNITED POWER (UNION REA)	00001	937534	319526	10/03/18	26.73
	UNITED POWER (UNION REA)	00001	937538	319526	10/03/18	111.33
					Account Total	767.57
	Operating Supplies					
	CINTAS CORPORATION NO 2	00001	937516	319526	10/03/18	199.42
					Account Total	199.42
	Water/Sewer/Sanitation					
	D I R SERVICES	00001	937517	319526	10/03/18	1,500.00
					Account Total	1,500.00
					Department Total	2,466.99

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	937535	319526	10/03/18	30.00
	XCEL ENERGY	00001	937541	319526	10/03/18	16.75
					Account Total	46.75
					Department Total	46.75

County of Adams
Vendor Payment Report

<u>8624</u>	<u>Retiree-Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Self-Insurance Claims					
	VISION SERVICE PLAN-CONNECTICU	00019	937210	319158	09/28/18	<u>289.03</u>
					Account Total	<u>289.03</u>
					Department Total	<u><u>289.03</u></u>

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	BRANNAN SAND & GRAVEL COMPANY	00013	937599	319632	10/04/18	636.29
	BRANNAN SAND & GRAVEL COMPANY	00013	937600	319632	10/04/18	1,101.88
	BRANNAN SAND & GRAVEL COMPANY	00013	937601	319632	10/04/18	1,209.62
	BRANNAN SAND & GRAVEL COMPANY	00013	937602	319632	10/04/18	859.36
	EP&A ENVIROTAC INC	00013	937603	319632	10/04/18	143,990.00
	EP&A ENVIROTAC INC	00013	937603	319632	10/04/18	11,540.00
					Account Total	<u>159,337.15</u>
					Department Total	<u><u>159,337.15</u></u>

County of Adams
Vendor Payment Report

<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SAMS CLUB	00001	937151	319159	09/28/18	<u>178.72</u>
					Account Total	<u>178.72</u>
					Department Total	<u><u>178.72</u></u>

County of Adams
Vendor Payment Report

<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	HAMPDEN PRESS INC	00007	937133	319163	09/28/18	3,785.00
	HAMPDEN PRESS INC	00007	937133	319163	09/28/18	313.16
					Account Total	<u>4,098.16</u>
					Department Total	<u><u>4,098.16</u></u>

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	FORSMAN KARSON	00001	937139	319159	09/28/18	18.53
					Account Total	18.53
	Operating Supplies					
	ARAMARK REFRESHMENT SERVICES	00001	937127	319159	09/28/18	469.57
	SAMS CLUB	00001	937151	319159	09/28/18	17.55
					Account Total	487.12
	Other Professional Serv					
	SHRED IT USA LLC	00001	937161	319159	09/28/18	100.00
					Account Total	100.00
					Department Total	605.65

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ALEGRIA HERRERA IRIDIAN	00001	937347	319389	09/30/18	19.00
	BALL JERROD RYAN	00001	937348	319389	09/30/18	19.00
	BELLE CREEK COMMONS	00001	937349	319389	09/30/18	66.00
	BONDED ADJUSTING SERVICE	00001	937327	319389	09/30/18	19.00
	CAMPUZANO BLANCA O	00001	937350	319389	09/30/18	19.00
	CASTANEDA JESUS CAMILO	00001	937351	319389	09/30/18	19.00
	CHAPMAN WILLIE LEE	00001	937328	319389	09/30/18	19.00
	DEPARTMENT OF LABOR AND EMPLOY	00001	937329	319389	09/30/18	19.00
	ELAZHARI ANAS AALI	00001	937352	319389	09/30/18	19.00
	ENRIQUEZ TAYDE OLIVIA	00001	937353	319389	09/30/18	19.00
	FRANCY LAW FIRM, PLLC	00001	937330	319389	09/30/18	19.00
	FRANCY LAW FIRM, PLLC	00001	937331	319389	09/30/18	19.00
	FRANCY LAW FIRM, PLLC	00001	937332	319389	09/30/18	19.00
	HERDER JOSEPHINE L	00001	937354	319389	09/30/18	19.00
	HERNANDEZ ALEX FRANK	00001	937355	319389	09/30/18	19.00
	HERNANDEZ BIANKA MARIE	00001	937356	319389	09/30/18	19.00
	HERNANDEZ ROSEANNE	00001	937357	319389	09/30/18	19.00
	HINDMANSANCHEZ	00001	937334	319389	09/30/18	19.00
	HINDMANSANCHEZ	00001	937335	319389	09/30/18	19.00
	HINDMANSANCHEZ	00001	937336	319389	09/30/18	19.00
	HOLST AND BOETTCHER	00001	937337	319389	09/30/18	19.00
	HOLST AND BOETTCHER	00001	937338	319389	09/30/18	19.00
	HOLST AND BOETTCHER	00001	937339	319389	09/30/18	19.00
	HORTON MICHAEL DEAN	00001	937358	319389	09/30/18	19.00
	JANEWAY LAW FIRM PC	00001	937340	319389	09/30/18	19.00
	JOHNSON JENNIFER L	00001	937359	319389	09/30/18	19.00
	KARIMI MAHMOOD	00001	937360	319389	09/30/18	19.00
	MOORE TAMMI	00001	937361	319389	09/30/18	19.00
	MORGAN JENETTE	00001	937341	319389	09/30/18	19.00
	MOUNTAIN WEST LAW GROUP, P.C.	00001	937342	319389	09/30/18	19.00
	MOUNTAIN WEST LAW GROUP, P.C.	00001	937343	319389	09/30/18	19.00
	PALMIER ELIZABETH	00001	937362	319389	09/30/18	19.00
	REYES ANAHIS	00001	937363	319389	09/30/18	19.00
	ROMERO ANDREW CHARLES	00001	937364	319389	09/30/18	19.00
	SANCHEZ CARL ELROY	00001	937365	319389	09/30/18	19.00

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SHAMES MAKOVSKY REALTY CO	00001	937366	319389	09/30/18	21.00
	SIMON HARRY L	00001	937333	319389	09/30/18	19.00
	SPEAKS TARA LEANN	00001	937367	319389	09/30/18	19.00
	STENGER AND STENGER	00001	937344	319389	09/30/18	19.00
	THUETT DANESSA	00001	937368	319389	09/30/18	19.00
	TRIMNAL AND MYERS	00001	937369	319389	09/30/18	19.00
	WAKEFIELD & ASSOCIATES INC	00001	937345	319389	09/30/18	19.00
	WEISS DIANE	00001	937370	319389	09/30/18	143.00
	XU MING	00001	937346	319389	09/30/18	66.00
					Account Total	1,056.00
					Department Total	1,056.00

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	937168	319159	09/28/18	1,358.39
					Account Total	1,358.39
	Other Professional Serv					
	SHRED IT USA LLC	00001	937153	319159	09/28/18	40.00
					Account Total	40.00
	Travel & Transportation					
	TEMPLE MITCHELL A	00001	937167	319159	09/28/18	147.00
					Account Total	147.00
					Department Total	1,545.39

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SUMMIT FOOD SERVICE LLC	00001	937166	319159	09/28/18	<u>11.17</u>
					Account Total	<u>11.17</u>
					Department Total	<u><u>11.17</u></u>

County of Adams
Vendor Payment Report

<u>2010</u>	<u>SHF- MIS Unit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	CENTURY LINK	00001	937129	319159	09/28/18	<u>97.95</u>
					Account Total	<u>97.95</u>
					Department Total	<u><u>97.95</u></u>

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	VIGILANCE PROJECT LLC	00001	937169	319159	09/28/18	250.00
					Account Total	250.00
	Other Professional Serv					
	SHRED IT USA LLC	00001	937153	319159	09/28/18	40.00
					Account Total	40.00
	Travel & Transportation					
	COSTER GEOFFRY	00001	937134	319159	09/28/18	1,799.00
					Account Total	1,799.00
					Department Total	<u>2,089.00</u>

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Pothole Asphalt					
	BRANNAN SAND & GRAVEL COMPANY	00013	937599	319632	10/04/18	.01-
	BRANNAN SAND & GRAVEL COMPANY	00013	937601	319632	10/04/18	.01
					Account Total	_____
					Department Total	=====

County of Adams
Vendor Payment Report

<u>97800</u>	<u>Wagner-Peyser</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BANKS RACHEL	00035	937487	319508	09/30/18	20.17
	BERNAL JUAN FELIPE	00035	937488	319508	09/30/18	56.46
	GLASSER NOELLE	00035	937494	319508	09/30/18	160.23
	GONZALEZ JEANETTE	00035	937495	319508	09/30/18	82.30
	JAMES TRUDY	00035	937496	319508	09/30/18	12.86
	MARTINEZ MARTHA	00035	937499	319508	09/30/18	11.23
	MCBOAT GREG	00035	937500	319508	09/30/18	33.25
	RODRIGUEZ SONIA	00035	937506	319508	09/30/18	32.81
	SCHAGER BRETT	00035	937507	319508	09/30/18	17.99
					Account Total	427.30
	Other Communications					
	VERIZON WIRELESS	00035	937475	319505	10/03/18	40.01
					Account Total	40.01
	Other Professional Serv					
	BROBST ANNIE	00035	937470	319505	10/03/18	422.45
					Account Total	422.45
	Travel & Transportation					
	GLASSER NOELLE	00035	937494	319508	09/30/18	12.80
					Account Total	12.80
					Department Total	902.56

County of Adams
Vendor Payment Report

<u>97803</u>	<u>Wagner-Peyser Migrant Seasonal</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PARRA ALDO	00035	937504	319508	09/30/18	204.92
					Account Total	204.92
	Other Communications					
	VERIZON WIRELESS	00035	937475	319505	10/03/18	104.86
					Account Total	104.86
					Department Total	309.78

County of Adams
Vendor Payment Report

<u>4316</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	937119	319097	09/27/18	1,074.52
					Account Total	1,074.52
	Laboratory Analysis					
	COLO ANALYTICAL LABORATORY	00043	937086	319073	09/27/18	26.00
					Account Total	26.00
	Telephone					
	CENTURYLINK	00043	937611	319637	09/30/18	48.59
					Account Total	48.59
	Water/Sewer/Sanitation					
	AURORA WATER	00043	937084	319073	09/27/18	6,962.74
	AURORA WATER	00043	937085	319073	09/27/18	27.74
					Account Total	6,990.48
					Department Total	8,139.59

County of Adams
Vendor Payment Report

<u>35</u>	<u>Workforce & Business Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COMPUTER SYSTEMS DESIGN	00035	937994	319754	10/05/18	4,800.00
	ELEMENTS	00035	937208	319163	09/28/18	363.07
					Account Total	5,163.07
					Department Total	5,163.07

County of Adams
Vendor Payment Report

<u>99600</u>	<u>WBC Admin Pool</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	KAMMERZELL JODIE	00035	937497	319508	09/30/18	43.89
	ZOBEL GABRIELE	00035	937508	319508	09/30/18	21.26
					Account Total	65.15
	Travel & Transportation					
	KAMMERZELL JODIE	00035	937497	319508	09/30/18	19.75
					Account Total	19.75
					Department Total	84.90

County of Adams
Vendor Payment Report

<u>99806</u>	<u>WIOA & Wag/Pey Shared Prog Cst</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	POST REBECCA	00035	937505	319508	09/30/18	80.12
					Account Total	80.12
	Other Communications					
	VERIZON WIRELESS	00035	937475	319505	10/03/18	52.43
					Account Total	52.43
					Department Total	132.55

County of Adams
Vendor Payment Report

<u>99802</u>	<u>WIOAAD & DLW Shared Pgm Costs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	CHAVEZ BELIA P	00035	937490	319508	09/30/18	<u>11.99</u>
					Account Total	<u>11.99</u>
					Department Total	<u><u>11.99</u></u>

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	937484	319508	09/30/18	31.49
	ELLIS CHARLES	00035	937493	319508	09/30/18	23.98
	ELLIS CHARLES	00035	937493	319508	09/30/18	11.99
	NEWTON JENNIFER	00035	937503	319508	09/30/18	85.46
	SCHAGER BRETT	00035	937507	319508	09/30/18	38.15
	SCHAGER BRETT	00035	937507	319508	09/30/18	57.22
					Account Total	248.29
	Supp Svcs-Incentives					
	KARASEV YAROLSAV	00035	936832	318942	09/26/18	80.00
	LUEVANO DALAL	00035	936834	318942	09/26/18	20.00
	RUBI ANALESSA	00035	936836	318942	09/26/18	20.00
					Account Total	120.00
					Department Total	368.29

County of Adams
Vendor Payment Report

<u>97400</u>	<u>WIOA YOUTH YOUNGER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	937484	319508	09/30/18	13.24
	SCHAGER BRETT	00035	937507	319508	09/30/18	18.53
					Account Total	31.77
	Supp Svcs-Incentives					
	ROCHA CARAVEO LUISA MELINA	00035	936837	318942	09/26/18	50.00
					Account Total	50.00
					Department Total	81.77

County of Adams
Vendor Payment Report

<u>99807</u>	<u>Youth Shared Prgrm Direct Cost</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	937484	319508	09/30/18	3.99
	NEWTON JENNIFER	00035	937503	319508	09/30/18	11.66
	SCHAGER BRETT	00035	937507	319508	09/30/18	9.27
					Account Total	24.92
	Other Communications					
	VERIZON WIRELESS	00035	937475	319505	10/03/18	314.58
					Account Total	314.58
					Department Total	339.50

County of Adams
Vendor Payment Report

Grand Total 2,103,897.33

**MINUTES OF COMMISSIONERS' PROCEEDINGS FOR
TUESDAY, OCTOBER 9, 2018**

1. ROLL CALL (09:27 AM)

Present: Charles "Chaz" Tedesco Steve O'Dorisio Erik Hansen and Mary Hodge

Excused: Eva J. Henry

2. PLEDGE OF ALLEGIANCE (09:28 AM)

3. MOTION TO APPROVE AGENDA (09:28 AM)

Motion to Approve 3. MOTION TO APPROVE AGENDA Moved by Charles "Chaz" Tedesco, seconded by Steve O'Dorisio, unanimously carried.

4. AWARDS AND PRESENTATIONS (09:28 AM)

5. PUBLIC COMMENT (09:28 AM)

A. Citizen Communication (09:28 AM)

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication (09:33 AM)

6. CONSENT CALENDAR (09:33 AM)

A. 18-903 List of Expenditures Under the Dates of September 24-28, 2018

B. 18-898 Minutes of the Commissioners' Proceedings from October 2, 2018

C. 18-878 Resolution Approving the Intergovernmental Agreement Regarding Animal Sheltering, Impoundment, Housing, Care, Adoption, Euthanasia and Disposal Services with the City of Brighton, Colorado (File approved by ELT)

D. 18-893 Resolution Approving Community Reach Center Lease Agreement between Adams County and Community Reach Center for Brighton Head Start Facilities at 1850 Egbert Street, Brighton, CO (File approved by ELT)

E. 18-895 Resolution Approving the Adams County Human Services Department Fiscal Year 2018-2019 Chafee Program Plan (File approved by ELT)

F. 18-897 Resolution Approving a Statement of Work Agreement for Establishing a Member Experience Advisory Council with the Department of Health Care Policy and Financing (File approved by ELT)

G. 18-911 Resolution Approving Intergovernmental Agreement between Adams County, Colorado Legal Services, the Cities of Westminster, Thornton, Federal Heights, Brighton, Commerce City, Aurora, and the City and County of Broomfield Regarding Contributions toward a Landlord/Tenant Legal Services Pilot Program (File approved by ELT)

H. 18-912 Resolution Approving Third Amended and Restated Establishing Contract for the E-470 Public Highway Authority (File approved by ELT)

I. 18-891 Resolution Approving the Construction Agreement for Government Entities between Public Service Company of Colorado d.b.a. Xcel Energy and Adams County for the York Street Project (File approved by ELT)

Motion to Approve 6. CONSENT CALENDAR Moved by Charles "Chaz" Tedesco, seconded by Steve O'Dorisio, unanimously carried.

7. NEW BUSINESS (09:34 AM)

A. COUNTY MANAGER (09:34 AM)

1. 18-888 2019 Adams County Manager's Proposed Budget

(File approved by ELT)

No action required, informational only (09:34 AM)

2. 18-770 Resolution Approving the Agreement between Adams County and Jalisco International, Inc., for Construction Services at Lowell Boulevard from Clear Creek to 62nd Avenue (File approved by ELT) (09:45 AM)

Motion to Approve 2. 18-770 Resolution Approving the Agreement between Adams County and Jalisco International, Inc., for Construction Services at Lowell Boulevard from Clear Creek to 62nd Avenue

(File approved by ELT) Moved by Charles "Chaz" Tedesco, seconded by Steve O'Dorisio, unanimously carried.

B. COUNTY ATTORNEY (09:47 AM)

8. ADJOURNMENT (09:47 AM)

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



Adams County Treasurer's Summary

Start Date	09/01/18
End Date	09/30/18

COUNTY FUNDS	Beginning Balance	Property Taxes	Specific Ownership	Other Revenue	Transfers	Treasurer's Fee	Disburse	Ending Balance	Difference
0001 COUNTY GENERAL	\$174,587,811.40	\$291,897.72	\$0.00	\$4,416,721.78	(\$854,735.69)	(\$4,432.19)	(\$12,238,833.12)	\$166,198,429.90	\$0.00
0004 CAPITAL FACILITIES	\$24,406,111.56	\$0.00	\$0.00	\$33,994.95	\$2,058,279.50	\$0.00	(\$270,583.58)	\$26,227,802.43	\$0.00
0005 GOLF OPNS (ENTERPRISE)	\$3,499,047.38	\$0.00	\$0.00	\$373,689.02	(\$1,192.16)	\$0.00	(\$199,590.35)	\$3,671,953.89	\$0.00
0006 INTERNAL SVC (EQUIP SVC)	\$11,405,658.98	\$0.00	\$0.00	\$6,793.31	\$481,088.22	\$0.00	(\$1,345,706.01)	\$10,547,834.50	\$0.00
0007 STORMWATER UTILITY FEE	\$6,958,599.52	\$1,204.11	\$0.00	\$35,922.32	\$6,360.95	(\$18.06)	(\$777,575.91)	\$6,224,492.93	\$0.00
0013 ROAD & BRIDGE	\$76,386,060.98	\$16,107.08	\$1,233,141.96	\$719,696.58	(\$22,163.86)	(\$242.47)	(\$4,771,794.28)	\$73,560,805.99	\$0.00
0015 SOC SVCS (WELFARE)	\$15,636,307.64	\$29,153.94	\$0.00	\$3,824,111.39	(\$460,028.71)	\$0.00	(\$4,548,820.54)	\$14,480,723.72	\$0.00
0018 RETIREMENT	\$10,429.72	\$3,744.91	\$0.00	\$4.22	\$0.00	(\$56.41)	(\$10,429.72)	\$3,692.72	\$0.00
0019 INSUR CLAIMS & RESERVES	\$7,389,927.87	\$0.00	\$0.00	\$56,897.69	\$1,457,361.71	\$0.00	(\$1,555,497.86)	\$7,348,689.41	\$0.00
0020 DEVELOPMENTALLY DISABLED	\$1,468,111.92	\$3,184.25	\$0.00	\$0.00	\$0.00	(\$47.72)	\$0.00	\$1,471,248.45	\$0.00
0024 CONSERVATION TRUST FUND	\$1,914,229.67	\$0.00	\$0.00	\$167,475.02	(\$9,142.59)	\$0.00	(\$34,854.52)	\$2,037,707.58	\$0.00
0025 WASTE MANAGEMENT FUND	\$4,489,537.66	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	(\$113,292.08)	\$4,376,245.58	\$0.00
0027 OPEN SPACE PROJECTS FUND	\$3,443,423.10	\$0.00	\$0.00	\$7,348.78	(\$131.92)	\$0.00	(\$184,722.93)	\$3,265,917.03	\$0.00
0028 OPEN SPACE SALES TAX FUND	\$42,334,073.76	\$0.00	\$0.00	\$72,942.91	\$1,739,880.17	\$0.00	(\$2,564,607.41)	\$41,582,289.43	\$0.00
0029 DIA NOISE MITIGATION FUND	\$1,383,708.16	\$0.00	\$0.00	\$2,425.17	\$0.00	\$0.00	\$0.00	\$1,386,133.33	\$0.00
0030 COMM DEV BLK GRANT AD CO	\$1,841,996.54	\$0.00	\$0.00	\$116,348.30	(\$4,861.26)	\$0.00	(\$209,508.00)	\$1,743,975.58	\$0.00
0031 HEAD START	(\$168,685.19)	\$0.00	\$0.00	\$340,673.15	(\$50,576.42)	\$0.00	(\$338,818.46)	(\$217,406.92)	\$0.00
0034 COMM SERV BLOCK GRANT	(\$124,667.01)	\$0.00	\$0.00	\$13,896.58	(\$6,349.71)	\$0.00	(\$36,472.58)	(\$153,592.72)	\$0.00
0035 EMPLOYMENT CENTER (JTPA)	(\$393,363.12)	\$0.00	\$0.00	\$694,257.58	(\$66,287.24)	\$0.00	(\$349,095.19)	(\$114,487.97)	\$0.00
0043 FRONT RANGE AIRPORT	\$2,193,914.49	\$0.00	\$0.00	\$151,483.67	(\$25,069.77)	\$0.00	(\$226,935.68)	\$2,093,392.71	\$0.00
5410 SHERIFFS COMMISSARY	\$2,589,500.26	\$0.00	\$0.00	\$73,868.22	(\$69,063.08)	\$0.00	\$0.00	\$2,594,305.40	\$0.00
5420 SHERIFFS INTEL CONFIS	\$7,646.67	\$0.00	\$0.00	\$1.17	\$0.00	\$0.00	\$0.00	\$7,647.84	\$0.00
5430 SHERIFFS REC & FLOWER	\$5,984.16	\$0.00	\$0.00	\$0.89	(\$335.76)	\$0.00	\$0.00	\$5,649.29	\$0.00
5460 AIRPORT NOISE	\$812,726.85	\$0.00	\$0.00	\$760.62	(\$30,363.50)	\$0.00	\$0.00	\$783,123.97	\$0.00
5480 SALES TAX RECEIPT ACCT	\$228,364.42	\$0.00	\$0.00	\$5,233,120.37	(\$5,229,236.96)	\$0.00	\$0.00	\$232,247.83	\$0.00
Total:	\$382,306,457.39	\$345,292.01	\$1,233,141.96	\$16,342,433.69	(\$1,086,568.08)	(\$4,796.85)	(\$29,777,138.22)	\$369,358,821.90	\$0.00

Dorothy C. Grumm



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 16, 2018
SUBJECT: Adams County Record Retention Schedule
FROM: Jennifer Stanley
AGENCY/DEPARTMENT: County Attorney
HEARD AT STUDY SESSION ON: October 3, 2018 during AIR
AUTHORIZATION TO MOVE FORWARD: X YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the attached Record Retention Schedule

BACKGROUND:

The attached Records Retention Schedule has been approved by the Colorado State Archivist and the Colorado State Auditor for use by Adams County, Colorado.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney

ATTACHED DOCUMENTS:

Resolution Adopting a Records Retention Schedule for Adams County, Colorado
Records Retention Schedule

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

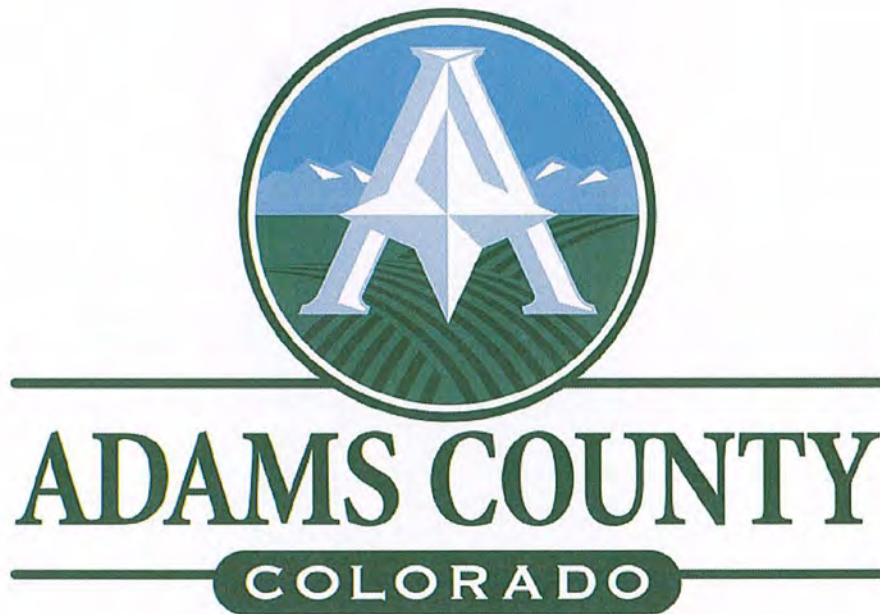
**RESOLUTION APPROVING AND ADOPTING A RECORDS RETENTION
SCHEDULE FOR ADAMS COUNTY, COLORADO**

WHEREAS, Adams County recognizes the need for a comprehensive records retention schedule that addresses the preservation and destruction of County records; and,

WHEREAS, the Colorado State Archivist and the Colorado State Auditor have reviewed and approved the attached Record Retention Schedule for use by Adams County as legal authority for the preservation and destruction of County records; and,

WHEREAS, the Adams County Board of County Commissioners intends to adopt the attached Records Retention Schedule for use by the County.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado that the attached Record Retention Schedule is hereby approved and adopted for use by the County, effective October 16, 2018.



RECORDS RETENTION SCHEDULE

Adopted by the Adams County Board of County Commissioners on 10/16/2018

Approved by the Colorado State Archivist on 9/19/2018

Approved by the Colorado State Auditor 9/27/2018



COLORADO
State Archives

Department of Personnel & Administration
COLORADO STATE ARCHIVES
RECORDS RETENTION AND DISPOSITION REQUEST

ARCHIVES NO.
19-04

To: Adams County 4430 South Adams County Parkway Brighton, CO 80601	From: STATE ARCHIVIST State Archives and Public Records 1313 Sherman Street, Room 122 Denver, Colorado 80203 Telephone (303) 866-4900 www.colorado.gov/archives
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Recommended Action:

- Establish a Records Retention and Disposition Schedule
 Revise Agency Records Retention and Disposition
 One-Time Records Disposition Action

AUTHORIZATION IS REQUESTED FOR RECOMMENDED ACTION SPECIFICALLY NOTED PER THE LISTINGS ATTACHED HERETO AND MADE A PART HEREOF. I HEREBY CERTIFY THAT I AM THE LEGAL RECORDS CUSTODIAN OR THE AUTHORIZED RECORDS OFFICER IN MATTERS PERTAINING TO THE DISPOSITION AND PRESERVATION OF PUBLIC RECORDS IN MY AGENCY.

<u>9/17/201</u>	X <u>per email from Jennifer Stanley</u>	<u>Assistant County Attorney</u>
Date	Signature of Agency Official	Title

AUTHORIZATION

Pursuant to the provisions of CRS 24-80-103, as amended, Public Records Retention and Disposition Action is Authorized as follows.

- By Agency
 By State Archives

PERMANENT RECORD ITEM(S)

NON-PERMANENT RECORD ITEM(S)

PAGE(S)

PAGE(S)

Destruction Options:

- Shred
 Burn
 Landfill
 Pulp Mill
 Paper Recycle
 Other

X
 Signature of State Archivist

9/19/2018
 Approval Date

X
 Signature of State Auditor

9/27/2018
 Approval Date

NO RECORD SHALL BE DESTROYED UNDER THIS SCHEDULE AUTHORITY SO LONG AS IT PERTAINS TO ANY PENDING LEGAL CASE, CLAIM ACTION OR AUDIT.

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RECORD RETENTION SCHEDULE GENERAL INSTRUCTIONS

Record Retention Generally

The minimum retention period applies to the record copy regardless of the storage format for the record (paper, electronic, microfilm, etc.). Unless otherwise specified in this retention schedule, duplicate copies may be destroyed at the discretion of the duplicate copy custodian provided they have no further administrative or other value. Duplicate copies should not be retained longer than the record copy.

Litigation holds

Records that may be pertinent to any anticipated, pending or ongoing litigation, claim, complaint procedure or other legal proceeding may not be destroyed even if the record is eligible for destruction under the Records Retention Schedule; and, even if the record should have been previously destroyed. Consult with the County Attorney's Office if there is any question regarding the destruction of records involving possible legal actions.

Department E-mail Retention

The County ITi Department has a one year retention period for emails retained on the county servers. Departments or employees that need to retain specific emails for longer periods of time due to regulatory, legal or other reasons are responsible for saving those emails to department computers or other devices. Contact the County ITi Department for assistance.

Destruction of Personal Identifying Information

When paper and electronic documents containing personal identifying information are no longer needed, employees must follow the official Adams County Policy Regarding Disposal of Personal Identifying Information in effect at the time.

Future Revisions

The County may administratively review (without the approval of the State Archives) the information regarding record copy custodian. However, both the County and the Colorado State Archives must approve any future revisions to records retention periods or the names of records titles, additions to the Records Retention Schedule or deletions from the schedule. Therefore this schedule should be reviewed and updated periodically to reflect the addition of new records, the removal of records that are no longer created, the renaming of records titles or changes in custodians, or changes in legal requirements. Any need for revisions should be reported to the County Attorney's Office.

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
ADMINISTRATION AND GENERAL COUNTY RECORDS Government Center 4430 South Adams County Parkway Brighton, CO 80601		
AFFIDAVITS OF PUBLICATION		
Proofs of publications of notices, announcements, etc. in newspapers or other print media	6 years + current unless another retention period is specified by law or is set forth elsewhere in the records retention schedule.	All departments responsible for publication
AGENDA PACKETS AND AGENDA SUPPORTING DOCUMENTATION – BOARD OF COUNTY COMMISSIONERS		
<p>Board of County Commissioners' agenda packets, including meeting agendas showing date, time and location of official meetings; and agenda order of items to be discussed by the Board at regularly scheduled, special and emergency public meetings.</p> <p>Agenda briefing material such as agenda item summaries, presentations and other supporting documentation explaining the rationale for staff recommendations.</p> <p>Presenting financial or background information or the history of agenda items being presented to the Board for a decision.</p> <p>This material, along with the Board proceedings, constitutes the County's legislative history.</p>	<p>Agendas and Staff Reports: Permanent</p> <p>Agendas and Staff Reports - Duplicate Copies: Until meeting is over</p> <p>Agenda Background Material (Supporting Documentation) : Permanent</p> <p>Electronic Presentations for Board Meetings (Including Applicant Information Admitted into Evidence): Permanent</p> <p>See also: Section 4 Board of County Commissioners Records</p>	<p>Clerk to the Board of County Commissioners</p> <p>All departments preparing the agenda material</p> <p>Departments responsible for the agenda item</p>
AGENDA PACKETS AND SUPPORTING DOCUMENTATION BOARDS, COMMISSIONS AND AUTHORITIES		
Agenda Packets and Supporting Documentation Boards, Commissions and Authorities.	Follow Retention Schedule for comparable records of the Board of the County Commissioners	Department providing Administrative Support

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
AGREEMENTS, CONTRACTS AND SUPPORTING DOCUMENTATION		
<p>A. Agreements and Contracts. Agreements and contracts of various kinds that document some form of agreement that is enforceable by law between the County and other parties, including but not limited to intergovernmental agreements, memoranda of understanding, franchise agreements, lease agreements, professional services agreements, change orders, letters of intent, amendments and revisions, and essential supporting documentation.</p>	<p>6 years + current after expiration or fulfillment of all terms of the agreement or contract, whichever is later, provided that audit has been completed and that the agreement or contract no longer has any binding effect, <u>except</u> that prior to destruction, evaluate for continuing legal, administrative or historical value</p> <p>Duplicate Copies: Until no longer needed for reference</p>	<p>Department generating the agreement</p>
APPOINTMENT AND RESIGNATION RECORDS		
<p>Records of appointments made by the Board of County Commissioners to, and resignations from the entity, including applications, recruitment information, etc.</p>	<p>1 year + current after end of service</p>	<p>Executive Assistant to the Board of County Commissioners</p>
ASSOCIATED ORGANIZATION RECORDS		
<p>A. Courtesy Records from External Sources. Provided to County as a courtesy or in its capacity as a participating member of an external association, organization, or group Note: The external source is the office of record for such records.</p>	<p>Until no longer needed for County reference or informational purposes</p>	<p>All departments receiving such records</p>
<p>B. Membership Records. Records relating to memberships of county officials and staff in external associations, groups and organizations.</p>	<p>2 years</p>	<p>All departments retaining membership records</p>
BYLAWS		
<p>Documents adopted by a Board, Commission or Authority to set out guidelines regarding the operation of the entity's governing board.</p>	<p>Permanent</p>	<p>Department providing Administrative Support</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
CALENDARS AND SCHEDULING RECORDS		
Electronic and paper records kept to document and facilitate the routine planning and scheduling of meetings, appointments and similar activities; includes calendars, appointment books, telephone messages, notes, diaries and similar records with routine content.	Destroy at discretion	All departments creating such records
COMMITTEE RECORDS		
A. External Committees. Records of committees outside of the County organization in which the County has representation or an interest.	Until no longer needed for County reference or informational purposes	All departments receiving such records
B. Internal Committees. Records of committees, task forces or other types of groups composed of members of the staff and/or other County entities that meet on an ongoing basis or that are set up for specific purposes. Examples include: <ul style="list-style-type: none"> •<i>Staff meetings</i> •<i>Employee safety committees</i> •<i>Task Teams</i> 	See below	See below
1) Ongoing Internal Committees.	Until no longer needed for reference	All departments participating in ongoing committees
2) Special Internal Committees.	Until work of committee concludes, provided records have been evaluated to determine that they have no further value	All departments participating in special committees
CORRESPONDENCE AND GENERAL DOCUMENTATION		
A. Chronological ("Chron" or Reader) Files. Convenience copies of materials that are kept elsewhere, retained in a chronological (month and year) fashion for short term ease of reference.	1 year + current or destroy at discretion if there is no further reference or informational value	All departments retaining chronological files

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
<p>B. Correspondence and General Documentation. Includes general administrative records.</p>	<p>See below</p>	<p>See below</p>
<p>1) Enduring Long-Term. Documentation or general correspondence with enduring and long-term administrative, policy, legal, fiscal, historical or research value; records that relate to policy issues and actions or activities in which an important precedent is set; records of historic events relating to the County or the community; and other similar records and documentation.</p>	<p>Permanent</p>	<p>All Departments</p>
<p>2) Routine. Operating correspondence and documentation that is routine and contains no significant long term administrative, legal, fiscal, historical, informational or statistical value. Includes routine letters or memoranda sent and received, reading or chronological files that are kept solely for convenience and contain duplicates of memos or letters that are also filed elsewhere, transmittal documents, etc.</p>	<p>1 year + current after the matter is resolved</p> <p>Duplicate Copies: 1 year + current</p>	<p>All Departments</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
<p>3) Transitory or Ephemeral. General correspondence or documentation of extremely short-term value, including advertisements, drafts and worksheets, desk notes, copies of materials circulated for informational "read only" purposes, other records with preliminary or short-term informational value.</p>	<p>Until material has been read</p>	<p>All departments</p>
<p>C. Forms – Blank. Blank forms are not considered to be records and should be separated from the County's records. However, a master forms file may be maintained to track the evolution of the form and instructions regarding use of the form.</p>	<p>Until superseded</p>	<p>All departments</p>
<p>D. Worksheets, Drafts and Notes. Documents such as rough notes, calculations or drafts assembled or created and used to prepare or analyze other documents; records of a preliminary or working nature which do not represent significant steps in the preparation of the final version of documents; includes informal notes, preliminary drafts of letters, memoranda, reports, computer or printer output used to verify information entered into a computer and not considered to be a final copy.</p>	<p>Destroy immediately after subject transaction has been completed.</p>	<p>All departments creating such records</p>
EMAILS		
<p>Emails</p>	<p>See: Section 15 Information Technology Innovation</p>	<p>See: Section 15 Information Technology Innovation</p>
FINANCIAL RECORDS		
<p>Financial Records</p>	<p>See: Section 12 Finance</p>	<p>See: Section 12 Finance</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
HISTORICAL AND ORGANIZATIONAL RECORDS		
A. Awards and Honors Received by County. Awards and honors received by the County government, departments or programs from various public or private sources.	Destroy at discretion	All departments receiving such records
B. Organization Files. Records that contain organization charts, reorganization studies, mission or purpose statements and similar information that illustrates or provides a detailed description of the arrangement and administrative structure of the County government at different points in time.	Until superseded	All departments receiving such records
C. Photographic Records.	See: Photographic Records below	See: Photographic Records below
D. Publications – County.	See: Publications below	See: Publications below
E. Records Older than 1900. County (or other) records of any type in the custody of the County that are dated prior to 1900 and that may have historical or archival value; includes local or regional newspapers older than 1900.	Permanent	All departments with records older than 1900
F. Scrapbooks – County. Chronological record of the County or individual departments which may include photographs, newspaper clippings and other items pertaining to the County's activities and actions and the reactions of citizens.	Permanent	All departments creating scrapbooks
HUMAN RESOURCES RECORDS		
Human Resources Records	See: Section 17 People and Culture Services	See: Section 17 People and Culture Services

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
INTELLECTUAL PROPERTY RECORDS		
Records relating to County-owned copyrights, trademarks, service marks, seals, logos, taglines and other similar intellectual property.	Permanent	All departments responsible for the intellectual property
MAILING AND INFORMATION DISTRIBUTION RECORDS		
A. Certified Mail Return Receipts. Receipts returned by the post office to document that the recipient received a mailing sent by the County.	2 years after matter referenced in mailing is concluded	All departments creating such records
B. Envelopes. Envelopes that contained communications received by the County.	Dispose of immediately, unless needed as documentation of mailing and receipt dates.	All Departments
C. Mailing and Distribution Lists. Lists of names and addresses compiled for various mailings, such as billings, notifications, community outreach and other administrative purposes.	Until superseded or obsolete	All departments creating such records
D. Record of Mailing. Documentation of mailing dates, content of mailings and addressees for mailing sent by the County for various purposes.	Dispose of immediately, unless needed as documentation of mailing and receipt dates	All departments creating such records
E. Undeliverable Mailings. Mailings (excluding mailed ballots) sent by the County that are returned as undeliverable.	Dispose of immediately, unless needed as documentation of mailing and receipt dates	All departments receiving undeliverable mailings
MAPS, DRAWINGS AND SUPPORTING DOCUMENTATION		
A. Informational Reference Maps and Drawings. Acquired from external sources and used for County reference and informational purposes, such as municipal or school district maps.	Until superseded or no longer needed for reference	All departments receiving or creating such records

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
<p>B. Maps, Plats, Plans and Drawings in General and Supporting Documentation. Wide range of maps, drawings, architectural, cartographic and engineering records and supporting documentation (such as finding aids). Includes the Following:</p> <ul style="list-style-type: none"> • Aerial maps and photographs • Architectural and engineering drawings needed to plan and build static structures, such as buildings, bridges and streets • "As built" drawings of facilities • Boundary maps • Construction drawings and renderings • Design and construction drawings for major projects • Development plats and plans • Election maps • Geographic Information System (GIS) and computer-aided design (CAD) generated maps and drawings • USGS topographical maps of the area • Zoning district maps 	<p>Final Version: Permanent</p> <p>Preliminary or Draft Versions: 1 year after final version is completed</p> <p>Reference, Convenience or Working Copies: Until superseded or no longer needed for reference</p> <p>Finding Aids: Permanent</p>	<p>All departments receiving or creating such records</p> <p>Note: Specific types of maps and drawings are also referenced in other sections of the records retention schedule</p>
MEETING RECORDS - BOARD, COMMISSIONS OR AUTHORITY		
<p>A. Meeting Notes. Handwritten or other notes used to create minutes.</p>	<p>Until minutes are approved or until notes are transcribed</p>	<p>Department providing Administrative Support</p>
<p>B. Minutes and Supporting Documentation. The official record of proceedings of regular, special and emergency meetings and all supporting documentation such as exhibits or other material referenced in the minutes.</p>	<p>Permanent</p>	<p>Department providing Administrative Support</p>
<p>C. Notices of Meetings.</p>	<p>1 year + current</p>	<p>Department providing Administrative Support</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
D. Recordings of Meetings. Audio or video recordings of official meetings typically made for use in preparing the minutes or transcripts of the meeting or for the public information.	Executive Sessions: 90 days after meeting Open Meetings: 6 months after approval of the minutes Study Sessions: 6 months after meeting	Department providing Administrative Support
NOTICES OF MEETINGS		
Notices of Meetings. Documentation of compliance with laws requiring posting and distribution of notices of public meetings.	1 year + current	County Meetings: All department providing Staff Support for meetings Non-County Meetings: See Section 6: Clerk and Recorder
PHOTOGRAPHIC RECORDS		
A. Model and Photographic Releases.	Until county no longer has a proprietary interest in the subject of the release	All departments creating such records
B. Photographic Records and Supporting Documentation. Supporting documentation includes finding aids, such as indexes, identifying information, etc. Examples include: <ul style="list-style-type: none"> • Digital images • Motion pictures • Negatives • Photographs • Prints • Slides and slide shows (archival) with audio tracks • Videos (VHS, DVD or other formats) 	Enduring Historical Value: Permanent Routine Administrative Value: Retain in accordance with the County's retention schedule for the specific type of record i.e. project photos, inspection photos, etc. Transitory Value: Destroy at discretion	All Departments
PACKETS DISTRIBUTED TO APPOINTED ENTITIES - CONVENIENCE COPIES		
Information periodically distributed to members of the board, commission or entity for informational purposes, typically including copies of correspondence, minutes for review, agenda material, staff memos, etc.	3 years + current	Department providing Administrative Support

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
POLICIES AND PROCEDURES DOCUMENTATION		
<p>A. Policy Development Records. Records documenting the rationale for and adoption of County policies.</p>	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are reviewed for continuing reference value prior to destruction</p>	<p>All departments creating such records</p>
<p>B. Procedures, Operating Instructions and Policies - Adopted. Documentation with reference or legal value, including policy manuals and standard operating procedures, that would be useful in establishing past policies or procedures in liability cases, personnel disputes and other circumstances. Includes department memos, directives, handbooks, manuals, etc.</p>	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are reviewed for continuing reference value prior to destruction</p> <p>Duplicate Copies: Until superseded</p>	<p>All departments creating such records</p>
<p>C. Rules, Regulations and Standards Adopted. Documentation of rules, regulations, standards and similar guidelines and requirements adopted by the County in relation to various activities and functions. Examples include:</p> <ul style="list-style-type: none"> • Building regulations and standards • Infrastructure construction standards • Inspection standards • Subdivision and zoning regulations 	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are reviewed for continuing reference value prior to destruction</p> <p>Duplicate Copies: Until superseded</p>	<p>All departments creating such records</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
PROGRAM DEVELOPMENT RECORDS		
Files containing historical information documenting the creation, evolution and abolishment of County programs.	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are reviewed for continuing reference value prior to destruction</p>	All departments creating such records
PUBLICATIONS		
<p>A. External Publications. Publications of outside entities that are used for reference and informational purposes. Examples: Colorado Revised Statutes, vendor catalogs, books, professional association publications, etc.</p>	Not Applicable	Not county records destroy at discretion
<p>B. Internal Publications – County Issued. Documents printed, published via the Internet or otherwise produced and distributed for wide internal or external reference and use, including brochures, pamphlets, leaflets, directories, instructional materials and other informational resources.</p>	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are reviewed for continuing reference value prior to destruction</p> <p>Transitory Value: Until superseded or no longer needed for reference</p> <p>Duplicate Copies: Until superseded or no longer needed for reference</p>	<p>All departments creating such records</p> <p>See also: Reports, Plans and Studies below</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
RECORDS MANAGEMENT DOCUMENTATION		
<p>A. Records Finding Aids. File plans, manual or automated indexes, lists, registers and other tools for locating records and information.</p>	<p>Life of the record for which the finding aid is designed to facilitate use and retrieval</p>	<p>All departments creating such records</p>
<p>B. Records Retention Schedules, Certificates of Compliance. Approved schedules for County offices listing the minimum records retention periods and certificates of compliance completed for submission to the State Archives to document the authorized destruction of non-permanent records within the normal course of business.</p>	<p style="text-align: center;">Permanent</p> <p>Duplicate Copies: Until superseded</p>	<p style="text-align: center;">Clerk to the Board of County Commissioners and County Attorney's Office</p>
REPORTS, STUDIES AND PLANS		
<p>A. Annual Reports. Summary annual reports of individual departments or the County as a whole on primary program activities and accomplishments for the previous year; may include statistics, narrative reports, graphs, and diagrams.</p>	<p style="text-align: center;">Permanent</p>	<p>All departments creating such records</p>
<p>B. Plans, Reports and Studies – Internal.</p>	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are reviewed for continuing reference value prior to destruction</p> <p>Transitory Value: Until superseded or no longer needed for reference.</p> <p>Duplicate Copies: Until superseded or no longer needed for reference</p>	<p>All departments creating such records</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
<p>C. Plans, Reports and Studies – External Sources. Routine documents from external sources used for reference.</p>	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are review for continuing reference value prior to destruction</p> <p>Transitory Value: Until superseded or no longer needed for reference</p> <p>Duplicate Copies: Until superseded or no longer needed for reference</p>	<p>All departments receiving such records</p>
<p>D. Quarterly, Monthly, Weekly or Other Periodic Reports. Activity and statistical reports of County offices on program activities and accomplishments.</p>	<p>2 years after date of report, unless another retention period is specified for a specific type of report elsewhere in the records retention schedule</p>	<p>All departments creating such records</p>
<p>E. Strategic Plans. “Big picture” strategic plans.</p>	<p>Significant and Enduring Historical and Research Value to the County: Permanent</p> <p>Routine Administrative Value: Until superseded, provided records are reviewed for continuing reference value prior to destruction</p> <p>Duplicate Copies: Until superseded or no longer needed for reference</p>	<p>All departments creating such records</p>
<p>F. Surveys. Done by County departments, including those done online.</p>	<p>Compilations: At discretion of the department</p> <p>Survey Responses: 1 year + current after completion of compilation</p>	<p>All departments administering surveys</p>
<p>G. Work Plans. Departmental, work units, etc.</p>	<p>3 years + current</p>	<p>All departments creating such records</p>

Section 1: ADMINISTRATION AND GENERAL COUNTY RECORDS

Records Title	Retention Period	Records Custodian/Location
WORKING FILES		
Project specific working files	3 years + current	All departments creating such files

Section 2: ANIMAL SHELTER AND ADOPTION CENTER

Record Title	Retention Period	Records Custodian/Location
ANIMAL SHELTER AND ADOPTION CENTER 10705 Fulton Street, Brighton, CO 80601 <i>All records located at this address, unless otherwise noted</i>		
ANIMAL AND PATRON RECORDS <i>(Includes both animal and owner information, if available)</i>		
Adoptions, strays, surrenders, transfers, patron euthanasia requests, microchip records and Adams County dog licensing records.	Permanent <i>Records since 2002 stored in Chameleon (Software program)</i>	Animal Shelter 10705 Fulton Street Brighton, CO 80601
Name, address, phone, etc. for each patron/animal owner/rescue group.		
Medical records for each animal - vaccinations, medicines, euthanasia, surgery notes, etc.		
Impounds through animal control - court holds, bite quarantines, protective custody, etc.		
Foster volunteers signed agreements, applications and home visit records.		
ANNUAL ANIMAL SHELTER STATS REPORTS		
PACFA annual stats reports -- Formerly called Asilomar reports <i>*Shelter license renewal required each year for our shelter license renewal*</i>	Permanent <i>Records since 2002 stored in Chameleon (Software program)</i>	Animal Shelter 10705 Fulton Street Brighton, CO 80601
DEA RECORDS AND MEDICAL LOGS		
DEA Records and Medical Logs	3 years <i>Records since 2002 stored in Chameleon (Software program)</i>	Animal Shelter 10705 Fulton Street Brighton, CO 80601
EMAILS		
Emails	Per County Policy	Animal Shelter 10705 Fulton Street Brighton, CO 80601

Section 2: ANIMAL SHELTER AND ADOPTION CENTER

Record Title	Retention Period	Records Custodian/Location
FINANCIAL RECORDS		
Currently all documents go to the Finance Department.	Per County Policy <i>Stored in J.D Edwards (Software program)</i>	Animal Shelter 10705 Fulton Street Brighton, CO 80601 and Government Center <i>Finance</i>
Payment records go to Finance. Backup copies of receipts, P-Cards statements, vender payments, etc. are kept.		
Donation receipts	Financial Paper Records Kept 1 year <i>Stored in J.D Edwards (Software program)</i>	4430 S. Adams County Parkway Brighton, CO 80601
Records of Patron's payment for services		
General volunteers donation and purchase receipts		
HR-EMPLOYEE FILES Active and recent employee files <i>Current files with application are kept on site at shelter as follows:</i>		
Interview notes	Per County Policy	Animal Shelter 10705 Fulton Street Brighton, CO 80601
Training certificates		
Disciplinary action		
Etc.		
Terminations	Per County Policy	Government Center <i>Human Resources</i> 4430 S. Adams County Parkway Brighton, CO 80601
Employee incident/injury reports <i>(Duplicate file kept in employee's file)</i>	Per County Policy	Government Center <i>Risk Management</i> 4430 S. Adams County Parkway Brighton, CO 80601
MEETING NOTES		
Take notes at weekly management team meetings.	Per County Policy	Animal Shelter 10705 Fulton Street Brighton, CO 80601
Take notes at quarterly Animal Control Officer Collaborative meeting.		
PACFA INSPECTIONS		
Inspections/Reports	Permanent	Animal Shelter 10705 Fulton Street Brighton, CO 80601
License - Displayed on wall in public view		
Expired License		

Section 2: ANIMAL SHELTER AND ADOPTION CENTER

Record Title	Retention Period	Records Custodian/Location
SHELTER IGA'S		
Keep fully executed documents in shelter's hard copy file.	Per County policy	Animal Shelter 10705 Fulton Street Brighton, CO 80601
Keep versions of old drafts in computer file.		
Shelter Standard Operation Procedures (SOP'S)	Per County Policy	
SIGNED AGREEMENTS		
Signed Agreements for Contractors, Grants, Misc., etc.	Per County Policy	Animal Shelter 10705 Fulton Street Brighton, CO 80601
VOLUNTEER RECORDS		
Volunteer Records	7 years <i>Records since 2002 stored in Chameleon (Software program)</i>	Animal Shelter 10705 Fulton Street Brighton, CO 80601
Volunteer donation records and purchase receipts.		
Foster volunteer applications, home visit records and signed agreements.		
Volunteer applications. <i>*Shred/delete if a potential volunteer filed an application but never became active*</i>	After 1 year	
Applications for current/past volunteers.	7 years <i>Records kept in Volgistics (Web-based Volunteer Software program)</i>	
Volunteer background checks.	Per County Policy	Government Center People and Culture Services <i>and</i> <i>Risk Management</i> 4430 South Adams County Parkway Brighton, CO 80601
Volunteer incident/injury reports.		

Section 3: ASSESSOR

To the extent the Adams County Assessor's Office has the documents indicated; it complies with the record retention schedule in the "**Assessors' Reference Library Manuals, Volume 2: Administration Manuals**". The Manuals are available at:

<https://www.colorado.gov/pacific/dola/assessors-reference-library-manuals>

Section 4: BOARD OF COUNTY COMMISSIONERS

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
BOARD OF COUNTY COMMISSIONERS Government Center Administration and General County Records 4430 South Adams County Parkway Brighton, CO 80601		
AGENDA MATERIAL - BOARD OF COUNTY COMMISSIONERS		
A. Agenda Packets and Agenda Supporting Documentation - Board of County Commissioners.		
<p>Board of County Commissioners' agenda packets, including meeting agendas showing date, time and location of official meetings and agenda order of items to be discussed by the Board at regularly scheduled, special and emergency public meetings.</p> <p>Agenda briefing material such as agenda item summaries, presentations and other supporting documentation explaining the rationale for staff recommendations.</p> <p>Presenting financial or background information or the history of agenda items being presented to the Board for a decision.</p> <p>This material, along with the Board proceedings, constitutes the County's legislative history.</p>	<p>Agendas and Staff Reports: Permanent</p> <p>Agendas and Staff Reports - Duplicate Copies: Until meeting is over</p> <p>Agenda Background Material (Supporting Documentation): Permanent</p> <p>Electronic Presentations for Board Meetings (Including Applicant Information Admitted into Evidence): Permanent</p> <p>See also: Section 1 Administration and General County Records</p>	<p>Clerk to the Board of County Commissioners</p> <p>All departments preparing the agenda material</p> <p>Departments responsible for the agenda Item</p>
B. Work Session Files.		
<p>Batches of information periodically distributed to the Board of County Commissioners for work sessions, including correspondence, copies of agenda material and minutes for review, copies of staff memos, etc.</p>	Permanent	<p>Departments responsible for these files</p>

Section 4: BOARD OF COUNTY COMMISSIONERS

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
BOARD OF COUNTY COMMISSIONERS AS ANOTHER DECISION-MAKING BODY		
Records of the Board when it is constituted and convened as another decision-making body, i.e., Liquor Licensing Authority.	Follow the retention periods set forth in this retention schedule for comparable records of the Board of County Commissioners (i.e., agenda material, meeting records, ordinances, resolutions, recordings, etc.)	Department providing Administrative Support
BOARD OF EQUALIZATION RECORDS		
Taxpayers may appeal decisions of the Assessor's office to the Board of Equalization (which is the Board of County Commissioners), and decisions of the Board of Equalization may be appealed to the State Board of Assessment Appeals.		CRS 39-8-101 et seq.: (No retention period specified for Board of Equalization records)
A. Administrative Hearing Records.		
Records relating to hearings conducted by appointed Hearing Officers and recommendations to the Board of Equalization from the Hearing Officer, includes hearing notices and notifications of the outcome of appeals.	4 years + current provided all rights of appeal have expired	Clerk to the Board of County Commissioners and County Attorney's Office
B. Appeal Petitions and Supporting Documentation.		
Submitted by property owners to request property tax valuation review; supporting documentation includes evidence submitted by the petitioner in support of the petition, letters of agency or appointment of agency forms, etc.	4 years + current (Petitions RE Property Valuation) 4 year + current (Abatement Petitions)	Clerk to the Board of County Commissioners Executive Assistant to the Board of County Commissioners
C. Hearing Officer Records.		
Records relating to interviews, selection and contracts with Hearing Officers appointed by the Board of County Commissioners to preside over hearings and make recommendations to the Board of Equalization.	4 years + current after expiration of term of office	Clerk to the Board of County Commissioners Executive Assistant to the Board of County Commissioners

Section 4: BOARD OF COUNTY COMMISSIONERS

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
D. Property Tax Abatement Records.		
Records relating to Property Tax Abatements	4 years + current Note: Cannot be appealed after 2 years. County Assessor has copy.	Clerk to the Board of County Commissioners Executive Assistant to the Board of County Commissioners
MEETING RECORDS		
A. Agenda Material.		
Agenda material	Permanent Also see Agenda Material above	Clerk to the Board of County Commissioners Executive Assistant to the Board of County Commissioners
B. Electronic Presentations for Board Meetings.		
Electronic presentations for Board meetings	Permanent	Clerk to the Board of County Commissioners Executive Assistant to the Board of County Commissioners
C. Meeting Notes.		
Handwritten or other notes used to create proceedings.	Until minutes are approved or until notes are transcribed	Clerk to the Board of County Commissioners
D. Notices of Meetings.		
Notices of official meetings	1 year	Clerk to the Board of County Commissioners
E. Proceedings of the Board of County Commissioners and Supporting Documentation.		
The official minutes and record of proceedings of regular, special and emergency meetings and all supporting documentation such as exhibits or other material referenced in the minutes.	Proceedings are to be recorded in a "book" Records are retained permanently <i>Proceedings of the Board of County Commissioners</i> Records of such proceedings shall be kept in a visual text format that may be transmitted electronically.	CRS 30-10-319 CRS 30-10-405 Clerk to the Board of County Commissioners

Section 4: BOARD OF COUNTY COMMISSIONERS

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
F. Recordings of Board of Commissioners meetings.		
Audio or video recordings of official meetings typically made for use in preparing the minutes or transcripts of the meeting or for public information.	Executive Sessions: 90 days after meeting Open Meetings: 6 months after approval of the minutes Study Sessions: 6 months after meeting	Clerk to the Board of County Commissioners Executive Session Recordings Clerk to the Board of County Commissioners and County Attorney's Office
MEMBER RECORDS - BOARD OF COUNTY COMMISSIONERS		
Oaths of office taken by elected officials upon taking office.	3 year + current after term of office ends	Clerk and Recorder CRS 30-10-301: No retention period specified
ORDINANCES		
Legislative enactments of the Board of County Commissioners adopted to enact a local law or take other legislative action.	Permanent	Clerk to the Board of County Commissioner CRS 30-15-404 to 30-15-407: Ordinances to be recorded in a "book" and may be printed in "book or pamphlet" form
RESOLUTIONS		
Enactments of the Board of County Commissioners which are not legislative in nature and which may be used for various types of approvals, policy statements, statements of position and similar actions.	Permanent	Clerk to the Board of County Commissioners CRS 30-10-319

Section 5: BUDGET

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
BUDGET OFFICE Government Center 4430 South Adams County Parkway Brighton, CO 80601		
BUDGET RECORDS		
Annual County Budget.		
Preliminary proposed budget	1 year after adoption of budget	Budget Office 4430 South Adams County Parkway Brighton, CO 80601
Final adopted budget	Permanent	
Annual Approved Budget & Amendments		
Departmental Budget Work Papers and Other Forecasts. Budgets and other forecasts prepared for internal administrative or operating purposes of estimated future income, receipts and expenditures in connection with financing, construction and operation and acquisition or disposal of properties or investments by the County. Including revisions of such estimates and memoranda showing reasons for revisions; also records showing comparison of actual income and receipts and expenditures with estimates.	Approved: 2 years + current Not Approved: 1 year + current	Budget Office 4430 South Adams County Parkway Brighton, CO 80601 and All departments preparing budget requests
CORRESPONDENCE AND GENERAL DOCUMENTATION		
Correspondence and documentation of a general nature	See: Section 1 Administration and General County Records	Budget Office 4430 South Adams County Parkway Brighton, CO 80601

Section 6: CLERK AND RECORDER

To the extent the Adams County Clerk and Recorder's Office has the documents indicated; it complies with **Colorado County Clerk's Association Record Retention Schedule**, (specifically **Section 3:** Election and Voter Registration Records, **Section 5:** Motor Vehicle and Licensing Records, **Section 6:** Recording Records, and **Section 7:** Vital Records), that has been approved by Colorado State Archives. The schedule is available at:

<https://www.colorado.gov/pacific/archives/county-record-management-manuals>

Section 7: COMMUNITY AND ECONOMIC DEVELOPMENT

Record Title	Retention Period	Records Custodian/Location
COMMUNITY AND ECONOMIC DEVELOPMENT Government Center Community Economic Development 4430 South Adams County Parkway Brighton, CO 80601		
AMBULANCE, LIQUOR AND MARIJUANA LICENSING RECORDS		
All records pertaining to ambulance, liquor and marijuana licensing.	2 years after establishment ceases operation or after final denial, expiration, revocation, termination or transfer of license or permit, except that any background materials that will also apply to transferred license should be retained from original license file and that any obsolete material may be purged when replaced with updated information.	Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601
ANIMAL MANAGEMENT <i>All Records may contain the following documents:</i>		
Bite Reports Statements from Citizens Warnings Home Quarantine Tickets Barking warnings Cruelty investigations Notices Any other applicable reports/documentation	4 years All records scanned electronically and stored in E-DOCs system	Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601
CODE COMPLIANCE <i>All Records may contain the following documents:</i>		
Warrants Letters to citizens about code violations Attorney letters' Affidavits Proof of Execution Affidavit Pictures of code violations E-mails regarding code violations Correspondences Returned letters CEC's (<i>complaints</i>)	7 years All records scanned electronically and stored in E-DOCS system	Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601

Section 7: COMMUNITY AND ECONOMIC DEVELOPMENT

Record Title	Retention Period	Records Custodian/Location
Inspector's initiator forms	<p align="center">7 years</p> <p align="center">All records scanned electronically and stored in E-DOCS system</p>	<p align="center">Government Center Community Economic Development 4430 South Adams County Parkway Brighton, CO 80601</p>
Parcel summary report		
Request for hearing		
Invoices to citizens for abatements due		
Liens		
Lien Releases		
Summons		
Notices of Bankruptcy of properties with Adams County liens		
Case notes		
<p>COMMUNITY DEVELOPMENT</p> <p><i>All Records may contain the following documents:</i></p> <p>Master Administration File</p> <p>HOME, CDBG, ESG, SECTION 108, AND NSP</p>		
Consolidated Plan	<p align="center">5 years after the final CAPER associated with the Consolidation Plan or minimally in accordance with 24 CFR 570.502 and 2 CFR 200.33 or superseded regulations</p>	<p align="center">Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601</p>
Annual Action Plan		
Citizen Participation Plan		
Resolutions		
Example Application		
Template Contract		
HUD grant agreements		
HUD correspondence and monitoring		
CAPER, and any other applicable reports/documentation		
Environmental review record		
<p>Activity Files (Home, CDBG, ESG, Section 108, and NSP)</p>		
Completed Application and any pre-contract/pre-qualifying documents	<p>HOME: 5 years after the end of the affordability period; or after resolution of all Federal monitoring; whichever occurs later</p> <p>CDBG, ESG, Section 108, and NSP: 5 years after activity use periods or completion or after resolution of all Federal monitoring; whichever occurs later</p> <p>Or minimally in accordance with 24CFR 570.502 and CFR 200.33 or superseded regulations</p>	<p align="center">Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601</p>
Original signed sub recipient agreement and any amendments thereto, or memorandum of understanding.		
Resolution		
Correspondence		
Bidding/Procurement		
Drawdown requests signed and back up		
Financial Statements		
Required HUD documentation (<i>Davis Bacon; Section 3; MBE/WBE, Uniform Relocation Act, etc.</i>)		

Section 7: COMMUNITY AND ECONOMIC DEVELOPMENT

Record Title	Retention Period	Records Custodian/Location
Underwriting and subsidy layering documentation	HOME: 5 years after the end of the affordability period; or after resolution of all Federal monitoring; whichever occurs later CDBG, ESG, Section 108, and NSP: 5 years after activity use periods or completion or after resolution of all Federal monitoring; whichever occurs later Or minimally in accordance with 24CFR 570.502 and CFR 200.33 or superseded regulations	Government Center Community Economic Development 4430 South Adams County Parkway Brighton, CO 80601
Deed of Trust and promissory note, and/or covenants, if applicable		
Monitoring and closeout documents		
Any other applicable reports/documentation		
CONTRACTS, AGREEMENTS AND SUPPORTING DOCUMENTATION		
Contracts, agreements and supporting documentation	6 years + current after expiration or fulfillment of all terms of the agreement or contract; whichever is later	Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601
DOCUMENT SERVICES DIVISION: <i>Records may contain the following documents</i>		
Building Permits	10 years for all building permits. CO's retained for the life of the building/or change of occupancy. Inspection records retained for 10 years after final inspection/completion of the project	Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601
Certificate of Occupancy		
Inspection records		
Plan reviews		
LAND USE CASE FILES <i>Including but not limited to the following:</i>		
Applicant's submitted materials	20 years	Government Center <i>Community Economic Development</i> 4430 South Adams County Parkway Brighton, CO 80601
Explanation of request		
Site plan		
Proof of water and sewer service		
Application form with property owner authorization, contact information, etc.		
Staff report		
Referral comments		

Section 7: COMMUNITY AND ECONOMIC DEVELOPMENT

Record Title	Retention Period	Records Custodian/Location
Notifications sent to property owners, referral agencies	20 years	Government Center Community Economic Development 4430 South Adams County Parkway Brighton, CO 80601
Proof of published notice		
Posting Certification Decision Letter <i>(BOA cases)</i>		
Resolution of Approval <i>(BOCC cases)</i>		
Sign Permits		
Landscaping Plans		
Correspondence <i>(mailed not emails)</i>	5 years	
Zoning Records- Records pertaining to the initial zoning of property upon annexation or the subsequent rezoning of property, including correspondence of enduring value, ordinances, zoning maps, petitions, zoning certificates and similar records.	Permanent except that obsolete nonpermanent correspondence and documentation may be purged in accordance with this Retention Schedule.	
ENVIRONMENTAL MANAGEMENT <i>Records may contain the following documents:</i>		
Inspections (landfills/travel stations/gravel mines)	Permanent	Government Center Community Economic Development 4430 South Adams County Parkway Brighton, CO 80601
Landfill case files		
Landfill lawsuit documents	5 years	

Section 8: CORONER

Record Title	Retention Period	Records Custodian/Location
CORONER 330 N. 19th Avenue Brighton, CO 80601		
DAILY INVESTIGATIVE LOG		
Daily Investigative Log	5 years	Coroner's Office 330 N. 19th Avenue Brighton, CO 80601
DEATH INVESTIGATION CASE FILES <i>All Records may contain the following documents:</i>		
Autopsy Reports	Permanent	Coroner's Office 330 N. 19th Avenue Brighton, CO 80601
Coroner's investigative reports, including photographs and contact		
Duplicate agency reports including medical, police, and other supplemental reports		
Requests for information		
Duplicate copies of death certificates		
Personal effects forms		
Medical forms		
Other related documents		
PERSONNEL FILES		
Personnel Files	Per County Policy	Coroner's Office 330 N. 19th Avenue Brighton, CO 80601
REPORTABLE DEATH FILES AND DATABASE		
Reports used to document deaths not requiring a scene investigation	Permanent	Coroner's Office 330 N. 19th Avenue Brighton, CO 80601
Other related documents		

Section 9: COUNTY ATTORNEY'S OFFICE

Record Title	Retention Period	Records Custodian/Location
COUNTY ATTORNEY'S OFFICE CIVIL OFFICE Government Center 4430 South Adams County Parkway Brighton, CO 80601		
Attorney Client Files	10 years after termination of the matter unless returned to appropriate county department. Colorado Rules of Professional Conduct 1.16A	Government Center County Attorney's Office 4430 South Adams County Parkway Brighton, CO 80601
Board of Assessment Appeals and Binding Arbitration Records	4 years + current	
General Correspondence and Documentation	See: Section 1 Administration and General County Records	
Litigation Holds	May be destroyed after the applicable statute of limitations has expired for the type of claim	
Notice of Claim		
RISK MANAGEMENT Government Center County Attorney's Office 4430 South Adams County Parkway Brighton, CO 80601		
Contractors' Certificates of Insurance and Bonds. Insurance certificates and bonds of contractors who perform work for the county.	6 Years after the expiration or completion of insured work or action, whichever is later	Government Center County Attorney's Office 4430 South Adams County Parkway Brighton, CO 80601
County - Wide Insurance Policies. Original signed county insurance policies. Correspondence with insurance companies concerning policy acquisition and renewal.	6 Years after the expiration of policy, or after all claims made under the policy are settled, whichever is later	
Ergonomic Consolation Files. Final reports, memoranda, work site evaluations, work station surveys, and employee job description forms. Used to ensure that employee work stations are ergonomically correct for work.	3 years + current	

Section 9: COUNTY ATTORNEY'S OFFICE

Record Title	Retention Period	Records Custodian/Location
County Property Claim - non FEMA. Insurance claim files for incidents involving county departments, motor vehicle accidents, or property damage to county vehicles.	7 years + current after claim is closed	Government Center County Attorney's Office 4430 South Adams County Parkway Brighton, CO 80601
Worker's Compensation Claim Files. Case files for Workers Compensation claims containing correspondence, injury reports, medical reports. Workers Compensation insurance claims, hearing documentation, and record of payments made to claimants or their dependents for job related injuries or illness.	6 years after case closed	
DEPENDENCY AND NEGLECT OFFICE Pete Mirelez Human Services Center 11860 Pecos Street Westminster, CO 80234		
Attorney Client Files	10 years after termination of the matter unless returned to appropriate county department Colorado Rules of Professional Conduct 1.16A	Pete Mirelez Human Services Center 11860 Pecos Street Westminster, CO 80234
General Correspondence and Documentation	See: Section 1 Administration and General County Records	

Section 10: DISTRICT ATTORNEY

Please contact the 17th Judicial District Attorney's Office at:

District Attorney's Building

1000 Judicial Center Drive

Brighton, CO 80601-8801

Phone: 303-659-7720

Fax: 303-835-5500

Section 11: FLEET AND FACILITIES MANAGEMENT

Record Title	Retention Period	Regulatory Requirements/Notations Custodian/Location
FLEET OPERATIONS DEVELOPMENT Development Building 4955 E. 74th Avenue Commerce City, CO 80022 <i>All records located at this address, unless otherwise noted</i>		
GENERAL RECORDS		
Contracts	See: Section 12 Finance	Government Center <i>Finance Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Employee records	See: Section 17 People and Culture Services	People and Culture Services <i>Human Resources</i> 4430 South Adams County Parkway Brighton, CO 80601
Fuel Reconciliation	Permanent <i>(Hard Copy w/ submittal to State)</i> Regulatory Requirements: CDPHDE	Fleet Operations Development <i>Development Building</i> 4955 E. 74th Avenue Commerce City, CO 80022
Fuel Transactions	Life of unit <i>(Electronic)</i>	
Inventory: Fluids	Life of unit <i>(Electronic)</i>	
Inventory: Parts	3 years <i>(Electronic)</i> Regulatory Requirements: OSHA	
Shop Equipment	1 year <i>(Hard copy)</i>	
VEHICLE/EQUIPMENT		
Accident Incidents	3 years past event <i>(Electronic/Hard copy)</i>	Fleet Operations Development <i>Development Building</i> 4955 E. 74th Avenue Commerce City, CO 80022
Emissions	Life of unit <i>(Hard copy)</i> Regulatory Requirements: CDPHDE	

Section 11: FLEET AND FACILITIES MANAGEMENT

Record Title	Retention Period	Regulatory Requirements/Notations Custodian/Location
License/Titles	Life of unit <i>(Hard copy)</i>	Fleet Operations Development <i>Development Building</i> 4955 E. 74th Avenue Commerce City, CO 80022
Opacity	Life of unit <i>(Hard copy)</i>	
Purchase/Acquisition	See: Section 12 Finance	Government Center <i>Finance Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Repair Records	Life of unit	Fleet Operations Development <i>Development Building</i> 4955 E. 74th Avenue Commerce City, CO 80022
FACILITIES MANAGEMENT Government Center 4430 South Adams County Parkway Brighton, CO 80601		
Annual Elevator inspection Reports	3 years <i>(Electronic and Paper)</i>	Government Center <i>Facilities Management</i> 4430 South Adams County Parkway Brighton, CO 80601
Annual Fire Alarm Inspection Reports		
Annual Fire Department Inspection Reports		
Annual Water Tests		
Backflow Prevention Test		
Building Automation Backup Data	Permanent <i>(Electronic)</i>	
Completed Preventive Maintenance Records for all Equipment	Permanent <i>(MainStar Server)</i>	
Completed Work Order	5 years <i>(Electronic -MainStar Server)</i>	
County Owned Facilities Building Drawings - <i>(Hard copy)</i>	Permanent <i>(Electronic and Paper)</i>	
County Owned Facilities CAD Files	Permanent <i>(Electronic)</i>	
County Owned Facilities CIP Project Files	Permanent <i>(Electronic and Paper)</i>	
County Owned Facilities O&M Manuals		
Facility Operations Purchasing Records <i>(Formal Bids and RFP's)</i>	Permanent <i>(Electronic - JDE Server)</i>	
Facility Operations Purchasing Records <i>(Informal Bids)</i>	3 years <i>(Electronic)</i>	

Section 11: FLEET AND FACILITIES MANAGEMENT

Record Title	Retention Period	Regulatory Requirements/Notations Custodian/Location
General Documentation	Per County Policy	Government Center Facilities Management 4430 South Adams County Parkway Brighton, CO 80601
Land and Asset - (Real Estate records managed by facilities)	Permanent	
Lease Agreements - (Real Estate records managed by facilities)	3 years + current	
Major Mechanical Systems Inspections Reports	Permanent or Life Expectancy of the System (Electronic - MainStar Server)	
Oil and Gas Leases	3 years + current	
Refrigerant Disposal Records	3 years (Electronic and Paper)	
Routine Inspection Records	1 year (Electronic-MainStar Server)	

Section 12: FINANCE

Record Title	Retention Period	Records Custodian/Location
Government Center FINANCE DEPARTMENT 4430 South Adams County Parkway Brighton, CO 80601 <i>All records located at this address, unless otherwise noted</i>		
FINANCE		
Cancelled Checks	6 years + current	AP
P-Card Statements		
Travel Reimbursement Records		
Vendor 1099s <i>(Finance access only)</i>		
Voucher invoices & supporting documents		
Vendor W-9s <i>(Finance access only)</i>		
Vouchers		
EFT Records		
Accounts Receivable Invoices and Receipts	6 years + current	AR
Issued Licenses <i>(including marijuana)</i>	6 years after expiration	AR
Sales tax records <i>(e.g. marijuana)</i>	6 years + current	AR & Budget
Bond Issuance files and Bond Payment records	2 years + current, after final payment	Bonds & Financing
Bonds, Notes and Coupons Paid	Per Trustee's Retention Schedule	
Bond Proceedings/Transcripts	Permanent	
Private Activity Bonds - Statements, Payments, etc.	Permanent, per County's policy + General	
Bank Statements & supporting documentation	6 years + current	Cash
Non-accounts receivable cash receipt documentation		
All Land & Water Capital Asset Records	6 years + current	Fixed Assets
All Other Capital Asset Records <i>(Reviews, Disposals, Transfers, Depreciation)</i>		
Incoming cash grant records (award documents, correspondence, reports, etc.)	Follow record retention rules of the specific grant agreement or this policy, whichever is more restrictive	Grants
Incoming Federal grant records <i>(award documents, correspondence, reports, etc.)</i>	Follow record retention rules of the Uniform Guidance or specific grant agreement, or this policy, whichever is more restrictive	
Outgoing grant records <i>(award documents, correspondence, reports, etc.)</i>	7 years after final payment to grantee/closeout or specific grant agreement	

Section 12: FINANCE

Record Title	Retention Period	Records Custodian/Location
Departmental Earnings, Labor Distributions	6 years + current	Payroll
Garnishment Records		
Leave Records (<i>ATE System</i>)		
Other Payroll Reports and Documents		
Tax Exemptions and Withholdings Records (<i>W-4</i>)		
Time Summary Reports and Records (<i>ATE System</i>)		
Payroll Registers	Permanent	Payroll
Taxable Wage Earning Reports (<i>QTD & YTD</i>)		
W-2		
Bids/RFP Non-awarded	6 years + current	Purchasing
Bids/RFP Awarded		
Protests		
Requisitions (<i>Paper & Online</i>)		
Purchase Orders and Contracts	6 years + current after expiration	
Internal audit reports	10 years	Reporting
Monthly Account Reconciliations	3 years	
Year-end Inventory Review Records		
Journal Entries and Documentation	6 years + current	
Year-End General Ledgers	Permanent	
Year-End Reconciliations and Documents for Audit		
Comprehensive Annual Financial Reports (<i>CAFRs</i>)	Permanent (<i>Limited # of copies</i>)	
Duplicate copy of documents listed above	Retain until no longer needed for reference, but no longer than original records	Department creating such records

SECTION 13: FRONT RANGE AIRPORT

Record Title	Retention Period	Records Custodian/Location
FRONT RANGE AIRPORT 5200 Front Range Parkway Watkins, CO 80137		
ACCESS CONTROL FILES		
Access control badge files, applications, authorization forms.	1 year from event <i>(Event: Cancellation of Badge)</i>	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
ADVERTISING AND MARKETING FILES		
News releases, correspondence, samples of brochures and pamphlets, newsletters relating to advertising and marketing of the airport.	10 years	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
AIRCRAFT INCIDENT AND ACCIDENT REPORT		
Accident reports, maps of accident locations, and correspondence with National Transportation Safety Board, Federal Aviation Administration, and insurance companies concerning any aircraft accident or other incident that occurs at the airport.	Permanent	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
AIRFIELD REPAIR AND MAINTENANCE FILES		
Work orders, duplicate plans and maps, and other support documentation for repair and general maintenance of airfield runways, taxiways, navigation aids, lighting and signage.	10 years	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
AIRPORT LEASES AND LETTERS OF AGREEMENT		
A. Ground Leases. - Original ground leases and files for privately owned improvement and corresponding lease documentation.	Permanent	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
B. T-Hangar Leases. - Original leases and wait list information.	5 years from event <i>(Event: Vacating or placed in Hangar from Waitlist)</i>	
C. PAP Leases. - Original PAP ground leases and files for privately owned PAPs.	10 years from event <i>(Event: Transfer of Ownership)</i>	
D. Building and Ramp Leases. - Original leases and LOAs for airport-owned buildings and ramp, files, and corresponding documentation.	5 years from event <i>(Event: Evacuation of Premises)</i>	

SECTION 13: FRONT RANGE AIRPORT

Record Title	Retention Period	Records Custodian/Location
E. Other Agreements. - Agreements with government entities, utility companies and others.	10 years from event <i>(Event: Expiration or Renewal of Agreement)</i>	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
AIRPORT MASTER PLAN		
Long term expansion plan for the airport.	Permanent	<i>Front Range Airport</i> 5200 Front Range Parkway Watkins, CO 80137
AIRPORT AUTHORITY AUDITED FINANCIAL STATEMENTS		
Official copies of the Airport Authorities' audited financial statements.	See below	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
A. Annual external audit report.	Permanent	
B. Monthly internal audit report.	10 years	
BUILDING AND MAINTENANCE FILES		
Work orders, as-built construction drawings, building inspection records, purchasing records for supplies and related maintenance files of buildings owned by the airport and for building grounds.	See below	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
A. Building inspection and maintenance files.	1 year from event <i>(Event: Destruction of Building)</i>	
B. Grounds maintenance files.	10 years	
FEDERAL AVIATION ADMINISTRATION CONSTRUCTION PROJECT FILES		
Files of construction projects funded by the Federal Aviation Administration, including applications, invoices, reports, and supporting documentation.	Permanent	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
FEDERAL AVIATION ADMINISTRATION AIRPORT INSPECTION FILES		
Copies of annual inspection reports and spot inspections of airport runways, taxiways and other aircraft movement areas by the Federal Aviation Administration.	10 years	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
FEDERAL SURPLUS PROPERTY OWNERSHIP FILES		
Documentation and transfer order for personal property transferred to the airport through the Federal General Services Administration.	10 years from event <i>(Event: Disposition of Property)</i>	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
FUEL INVENTORY RECORDS		
Records of purchase and disbursement of gasoline and diesel fuel.	2 years	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137

SECTION 13: FRONT RANGE AIRPORT

Record Title	Retention Period	Records Custodian/Location
FUEL SALES REPORTS		
Reports sent to the State to obtain refunds of taxes for jet and aviation fuel sold.	5 years	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
HISTORICAL PHOTOGRAPHS AND DOCUMENTS		
Photographs of the airport and of important events occurring at the airport, as well as other historical documents relating to these events.	Permanent	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
LAND USE REVIEW FILES		
Correspondence, specifications, plans and copies of easements for land developments near the airport. Development plans and aviation easements are reviewed for building height restrictions, noise abatement procedures and overhead aircraft restrictions.	Permanent	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
MAPS AND BUILDING PLANS		
Maps of the airport and construction drawing of airport buildings, water and sewer facilities and utility lines.	Permanent	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
PART 139 CERTIFICATION REQUIREMENT FILES		
Files required for maintaining Part 139 Certification.		Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
A. Airport daily self inspections and <u>Airport fueling inspections.</u>	1 year	
B. Personnel training files, emergency personnel training files and movement and safety area training files.	2 years	
C. Letter of Corrections.	5 years	
RADIO LICENSING AND MAINTENANCE FILES		
Purchasing records, maintenance documentation and Federal Communications Commission license for two-way radio equipment owned and operated by the airport.	1 year from event <i>(Event: Deposition of Equipment)</i>	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137
UNDERGROUND FUEL STORAGE TANK FILES		
Files concerning underground fuel tank locations, inspections and Environmental Protection Agency required reports.	Permanent	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137

SECTION 13: FRONT RANGE AIRPORT

Record Title	Retention Period	Records Custodian/Location
VEHICLE AND AIRCRAFT RESCUE AND FIRE FIGHTING EQUIPMENT MAINTENANCE FILES		
Purchasing, maintenance and general information on ownership and operation of airport vehicles and firefighting equipment.	10 years from event <i>(Event: Disposition of Vehicle or Equipment)</i>	Front Range Airport 5200 Front Range Parkway Watkins, CO 80137

Section 14: HUMAN SERVICES

Record Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
HUMAN SERVICES Pete Mirelez - Human Services Center 11860 Pecos Street Westminster, CO 80234 <i>All records located at this address, unless otherwise noted</i>		
ADOPTION/FOSTER CARE		
Adoption Subsidies	3 years + current	12 CCR 2509-8:7.708.51 <i>"B. Records for foster children shall be retained for at least three years. Retention of records for a longer period may be desirable when they reflect an accident, injury or other unusual circumstance."</i>
Chafee		
Foster Care Child's case		
Foster Care Licensing		
Adoptive Child's case	Permanent	
Adoptive Parent's case		
ADULT SERVICES		
Adult Protective Services	3 years + current	12 CCR 2518-1:30.260(E) <i>"Case records shall be retained for a minimum of three (3) years, plus the current year, after the date of case closure."</i>
Aid to Blind - Adult Services file		
Aid to Needy Disabled - Adult Services file		
Home Community Based Services - Adult Services file		
Home Care Allowance - Adult Services file		
Long Term Care - only if Medicaid		
Old Age Pension - Adult Services file		
BUSINESS OFFICE		
Accounting Binder	3 years + current	
Adult Protection		
Chats Payroll - CCAP		
CHILD CARE		
Residential Child Care Facilities Licensing	3 years + current	<i>See 12 CCR 2509-8:7.702.94 "D. The records of children and personnel must be maintained by the center for at least three (3) years."</i>
Child Care Licensing		
CHILD PROTECTION SERVICES		
Intake	3 years + current	<i>See generally 12 CCR 2509-7</i>
Ongoing		
Institutional Investigations		
Service Providers		

Section 14: HUMAN SERVICES

Record Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
CHILD SUPPORT SERVICES		
CSE case files	3 years + current	9 CCR 2504-1:6.260.51 <i>"All records of closed cases must be retained for a minimum of three years. All documentation concerning the closure must remain in the case file."</i>
CSE Financial Reports		
FRAUD		
Food Stamp Claim -Fraud	Permanent	10 CCR 2506-1:4.902.5(B) <i>"Case records relating to intentional program violation disqualifications and related notices to the household shall be retained indefinitely until the local office obtains reliable information that the individual who was disqualified has died or until information is received from the national disqualified recipient database system that all records associated with a particular individual, including the disqualified recipient database record, may be permanently removed from the database because of the individual's eightieth (80th) birthday."</i>
Judgment Recovery - Fraud		
Recovery		
Investigation File		
LEAP		
Food Assistance - unifile	3 years + current	9 CCR 2503-7:3.755.17 <i>"The county department/Contractor shall archive three (3) program years plus the current program year files"</i> 10 CCR 2506-1:4.902.5 <i>Each local office shall retain all program records in an orderly fashion for audit and review purposes for no less than three (3) years from the month of origin of each record."</i>
Low Income Energy Assistance (LEAP) - Adult Services File		
TANF		
Adams Works	3 years + current	9 CCR 2503-6:3.603(H) <i>"Data of any form shall be retained for the current year, plus three previous years[.]"</i>
CCAP		

Section 14: HUMAN SERVICES

Record Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
VETERANS SERVICES		
Qualified Individuals I - unifile Qualified Individuals II - unifile Qualified Medicaid Beneficiary - unifile Special Low Income Medicare <i>Beneficiary Program - unifile</i> Children's Health Plan Plus Military Assistance Head Start Burial Assistance CHOICES - TANF/Adams Works file Social Security Income (SSI)	3 years + current	
VOLUNTEER RECORDS		
Volunteer Records	Per County Policy	
WORKFORCE		
AC One Stop - TANF/Adams Works file CC of Aurora - Adams Works CWEE - TANF/Adams Works file Employment First TANF/Adams Works file Family Tree - Adult Services file Goodwill Challenge Single Entry Point - unifile Workforce/Business Center - TANF/Adams Works file	3 years + current	<i>See generally regarding TANF 9 CCR 2503-6:3.603(H) "Data of any form shall be retained for the current year, plus three previous years[.]"</i>

Section 15: INFORMATION TECHNOLOGY AND INNOVATION

Record Title	Retention Period	Records Custodian/Location
INFORMATION TECHNOLOGY & INNOVATION Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601		
BACKUP OF NETWORKED PRODUCTION COMPUTER DATA		
<i>Regular backups of networked computer production data.</i>	1 week to 1 month <i>(based on department)</i>	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
A. Daily backup tapes		
B. Weekly backup tapes		
C. Monthly backup tapes		
EMAIL FOR ALL DEPARTMENTS		
Emails: The County Information Technology Innovation (ITi) Department has a one year retention period for emails retained on the county servers. Departments or employees that need to retain specific emails for longer periods of time due to regulatory, legal or other reasons are responsible for saving those emails to department network drives. Contact the County ITi Department for assistance.	Emails will be retained on county servers for 1 year. If emails are required to be kept for a longer time frame under any law, rule, regulation, or other reason, the department creating such records are responsible for saving those emails to department network drives. See generally individual department and office sections.	Emails retained on county servers: Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601 All other email: All departments creating/maintaining such records.
JOB CONTROL AND EXECUTION REPORTS		
Computer reports containing parameters, code listing and other information required to execute data management jobs and used to verify that jobs were properly run.	Permanent or otherwise noted or until the system is obsolete or is no longer used.	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
HELP DESK REQUEST FILES AND DATABASE		
User requests for assistance that identify computer and telecommunications related problems and solutions.	1 year + Current	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
HIPPA DOCUMENTATION		
Documentation retained per §164.316(b)(1) of the HIPAA Security Rule.	6 years	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601

Section 15: INFORMATION TECHNOLOGY AND INNOVATION

Record Title	Retention Period	Records Custodian/Location
INTERNET USAGE LOGS		
Internet web filter traffic logs.	7 days	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
IT POLICIES, PROCEDURES STANDARDS AND GUIDELINES		
Manuals and information concerning the setup of personal computers, servers and network access specifications (<i>passwords</i>) used to document changes on setup procedures and the network.	Until Superseded	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
IT JOB REQUESTS		
Requests by user departments for data entry, data changes or updates, or report specifications from databases maintained by ITS.	1 year + Current	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
NETWORK ACTIVITY LOGS		
Event logs generated by computer systems and networking equipment.	90 days	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
SYSTEM APPLICATION PROGRAMS		
Programs purchased or written by ITS to run various data management applications for user departments, all maintained online with backups.	Permanent or otherwise noted or until the system is obsolete or is no longer used. <i>(reviewed annually)</i>	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
SYSTEM DESIGN REPORTS AND EXTERNAL DESIGN REQUIREMENTS		
System requirements or design documents for applications.	Permanent or otherwise noted or until the system is obsolete or is no longer used.	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601
SYSTEM USER MANUALS		
Record copies of manuals prepared by ITS for users of ITS-maintained systems.	Permanent or otherwise noted or until the system is obsolete or is no longer used.	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601

Section 15: INFORMATION TECHNOLOGY AND INNOVATION

Record Title	Retention Period	Records Custodian/Location
TELECOMMUNICATIONS EQUIPMENT AND INSTRUCTION EQUIPMENT AND INSTRUCTION PAMPHLETS AND GUIDES		
Instruction pamphlets and guides to telecommunications equipment used by county employees.	Until Superseded	Government Center Information Technology 4430 South Adams County Parkway Brighton, CO 80601

SECTION 16: PARKS AND OPEN SPACE

Record Title	Retention Period	Records Custodian/Location
PARKS AND OPEN SPACE Riverdale Regional Park 9755 Henderson Road Brighton, CO 80601		
COUNTY FAIR		
Records	5 years	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
CSU/Adams		
Meetings		
Truck/Tractor/Demo		
Production Contracts		
Correspondence		
DOMESTIC AND WASTEWATER		
Domestic and Wastewater Documentation	5 years	Riverdale Regional Park Parks Operations 9755 Henderson Road Brighton, CO 80601
FACILITY MARKETING		
Facility Marketing	5 years	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
MINUTES OF OSAB MEETINGS		
Minutes of OSAB Meeting	Permanent	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
NATURAL RESOURCE PROGRAM		
Records of payment	7 years	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
Records		
Spread sheet		
Oliver		
Records and due diligence		
Development referral		
Land use comments		
OFFICIAL MINUTES		
Official Minutes. Open Space Advisory Board	Permanent See also: Section 1 Administration and General County Records	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601

SECTION 16: PARKS AND OPEN SPACE

Record Title	Retention Period	Records Custodian/Location
OPEN SPACE ADVISORY BOARD AGENDA		
Open Space Advisory Board Agenda.	Permanent See also: Section 1 Administration and General County Records	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
OPEN SPACE SALES TAX PROGRAM		
Open Space Sales Tax Program. Audio Recordings of open Space Advisory Board Meetings	1 year	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
File includes application and if grant is awarded	Permanent	
Grant agreement		
Modifications		
Extensions		
Closeout		
Payment documentation		
Conservation Easements		
Monitoring reports		
Monitoring photos		
PARK FLEET EQUIPMENT TITLES		
Park Fleet Equipment Titles	Permanent or until unit is sold/scraped out	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
PARK MANAGEMENT		
Irrigation Records	7 years	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
Vehicle maintenance records		
Minor bridge (pedestrian)		
Bridge inspection reports		
PESTICIDE PROGRAM RECORDS		
Records	5 years	Riverdale Regional Park Parks Operations 9755 Henderson Road Brighton, CO 80601 CRS 35-10-111
Pesticide storage inventory		
Fire extinguisher services records		
Cost-share records		
Loaner sprayer use records		
Weed mapping inventory data training forms		
Department of AG technician training forms		

SECTION 16: PARKS AND OPEN SPACE

Record Title	Retention Period	Records Custodian/Location
PROJECT MANAGEMENT		
Correspondence	7 years	Riverdale Regional Park Parks Administration 9755 Henderson Road Brighton, CO 80601
Memos		
Drafts		
Meeting minutes		
Contractor recruitment/RFP's		
Vendor payment information		
Grant applications		
Grant close-out documents		
Adopted plans		
Capital Construction Management		
Vendor lists		
Construction documents		
Vouchers		
Park development files		
Public meeting data		
As-builts		
Construction documents		

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
<p>PEOPLE AND CULTURE SERVICES Government Center 4430 South Adams County Parkway Brighton, CO 80601 <i>All records located at above address unless otherwise noted</i></p>		
<p>AGREEMENTS AND CONTRACTS - EMPLOYMENT</p>		
Individual employment contracts or agreements, or where not in writing, a written memorandum summarizing the terms.	<p>3 years after expiration</p>	<p>29 CFR 516.5</p>
<p>BENEFIT RECORDS</p>		
<p>A. Benefit Plan Basis. Records providing the basis for all required plan descriptions and reports necessary to certify the information, including vouchers, worksheets, receipts, application resolutions, etc.</p>	<p>Not less than 6 years after filing date of documents</p>	<p>29 USC 1027, 29 CFR 2520</p>
<p>B. Benefit Plan Enrollment Records. Records of employee selection of benefit plans.</p>	<p>10 years + current after separation from employment</p>	
<p>C. Benefit Plans. Documentation relating to employee health, dental, vision and other insurance plans; Social Security, pension, deferred compensation, IRAs, money purchase plans, retirement and similar plans; including benefit plan description and/or summary benefit plan descriptions and plan amendments.</p>	<p>Full period that plan or system is in effect, plus 1 year after termination of the plan</p>	<p>29 CFR 1627.3(b)(2)</p>
<p>D. COBRA Notices – Continuing Group Health Insurance Coverage. Notices to covered employees, spouse and dependent of continuing group health insurance and COBRA rights, and records relating to whether employee, spouse and dependent elected or rejected continuing coverage.</p>	<p>6 years + current after separation from employment</p>	<p>26 CFR 54.4980 B-5: <i>Retention not specified</i> Mountain States Employees Council: <i>“While COBRA does not explain how long records must be kept, private employers subject to ERISA can look to general ERISA recordkeeping for some guidance. ERISA generally requires 6 years record retention.”</i></p>

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
E. Filings with Taxing Authorities to Qualify Employee Benefit Plans.	5 years after discontinuance of plan	
F. Insurance Claim Records – Employees. Records pertaining to employee claims for medical, dental, long-term disability and other insurance coverage.	3 years + current after incident is closed and all rights of appeal have expired	
COMMERCIAL DRIVER’S LICENSE (CDL) RECORDS <i>Records relating to Commercial Driver’s Licenses issued to County employees.</i>		
A. Administrative Records.	5 years	49 CFR 382.401(b)(1)(vi): 5 years
B. Annual Calendar Year Summary.	5 years	49 CFR 382.401(b)(1)(vii): 5 years
C. Collection Process Records.	2 years	49 CFR 382.401(b)(2): 2 years
D. Test Result Records-Alcohol and Controlled Substances.		
1. Alcohol test results.		
a. Concentration greater than 0.02.	5 years	49 CFR 382.401(b)(1)(i): 5 years
b. Concentration less than 0.02.	2 year	49 CFR 382.401(b)(3): 1 year, 29 CFR 1602.31: 2 years
2. Controlled substances test results.		
a. Driver verified positive test	5 years	49 CFR 382.401(b)(1)(ii): 5 years
b. Negative and Cancelled Test Results.	2 years	49 CFR 382.401(b)(3): 1 year, 29 CFR 1602.31: 2 years
E. Test Refusal Documentation.	5 years	49 CFR 382.401(b)(1)(iii): 5 years
F. Training and Education Records. (Technicians, Supervisors, Drivers)	Maintained by employer while individual performs the functions which require the training and for 2 years after the individual ceases to perform those functions.	49 CFR 382.401(b)(4): Maintained by employer while individual performs the functions which require the training and for 2 years after ceasing to perform those functions
EEO RECORDS		
A. Affirmative Action Plans. Affirmative action plans prepared for the County.	Permanent Duplicate Copies: 1 year + current	
B. Applicant Flow Records. Applicant’s name, date of application, race, sex, referral source, job applied for, interview information, disposition of application.	2 years + current from the date the record was made or the personnel action was taken, whichever is later.	41 CFR 60-741.80: 1 year from date record made or personnel action taken, whichever is later, 29 CFR 1602.31: 2 years from the date records made or personnel action taken, whichever is later

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
<p>C. Discrimination Charges or Enforcement Actions. Personnel records relevant to charge, including records relating to charging party and to all other employees holding positions similar or sought after, such as application forms, test papers or performance documentation.</p>	<p>2 years minimum Until final disposition of charge or action and with authorization of legal counsel.</p>	<p>29 CFR 516.6 Basic Employment and Earning Records: At least 2 years 29 CFR 1602.14, 29 CFR 1602.31, 29 CFR 1627.3(b): Until final disposition of the charge or action 29 CFR 1602.31: 2 years from the date records made or personnel action taken, whichever is later 41 CFR 60-741.80: Until final disposition of the complaint, compliance evaluation or action</p>
<p>D. Form EEO-4. Records submitted to the Equal Employment Opportunity Commission (EEOC) documenting compliance with EEOC requirements by organizations with 15 or more employees.</p>	<p>3 years</p>	<p>29 CFR 1602.30-32: 3 years</p>
<p>E. Requests for Reasonable Accommodation. Disabled job applicants and employees requests for reasonable accommodations.</p>	<p>2 years + current from the date the record was made or the personnel action was taken, whichever is later</p>	<p>29 CFR 1602.14, CFR 60-741.80: 1 year from date record made or personnel action taken, whichever is later 29 CFR 1602.31: 2 years from the date records made or personnel action taken, whichever is later 29 CFR 1627.3: 1 year from date of personnel action</p>
EMPLOYEE RECORDS		
<p>A. Awards – Employees. Records of service awards presented to employees by the County.</p>	<p>2 year + current</p>	<p>29 CFR 1602.31: 2 years from the date records made or personnel action taken, whichever is later</p>
<p>B. Court-Ordered Worker Records. Records of community service workers ordered by the courts to perform work for the County as an alternative sentence; includes time sheets, record of work performed, and correspondence.</p>	<p>3 years + current after separation from employment</p>	<p>All Departments</p>

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
<p>C. Employee Files. Employee information, name, address, birth date, application and supporting documentation, occupation, rate of pay, compensation earned weekly, length of service and other pertinent data, promotion records, demotion records, termination records, performance evaluations, new employee checklist, personnel action forms, position requisition forms, position information questionnaires (PIQ), position assessments, reference checks, etc. <i>This does not include employee medical records</i></p>	<p>Master HR Files: 10 years + current after separation from employment</p> <p>Departmental Employee Files: Consult with Human Resources regarding transfer or disposal of departmental employee records upon termination of employment</p> <p>Note: <i>The Sheriff's Office maintains its own personnel records, and this retention schedule does not apply to that department.</i></p>	<p>29 CFR 516.6(a): At least 2 years; 29 CFR 1602.14: 1 year from date of involuntary termination 29 CFR 1602.31: 2 years from date of involuntary termination; 2 years from date of making of record or personnel action involved, whichever is later 29 CFR 1602.14, 29 CFR 1627.3(b) 1 year from date record made or personnel action taken, whichever is later 29 CFR 1620.32: At least 2 years 29 CFR 1627.3(a): 3 years 29 CFR 1627.3(b): 1 year from date of personnel action 41 CFR 60-250.80, 41 CFR 60-741.80: 1 year from date of making of the record or the personnel action involved, whichever occurs later</p>
<p>D. Employee Medical Records.</p>	<p>See: Medical Records below</p>	<p>See: Medical Records below</p>
<p>E. Employment Verifications. Records of verification of employment in response to external requests, i.e., verifications of employment status needed for loans, child support, job applications, etc.</p>	<p>2 year + current</p>	<p>29 CFR 1602.31: 2 years from the date records made or personnel action taken, whichever is later.</p>
<p>F. Fair Credit Reporting Release of Information Forms.</p>	<p>3 years + current</p>	<p>16 CFR (Appendix to Part 600): <i>Employees may bring claims up to 2 years after violation of the Act.</i></p>
<p>G. FMLA Leave Records.</p>		
<p>1. Exempt Employees</p>	<p>3 years</p>	<p>29 CFR 825.110 29 CFR 825.206: Retention not specified 29 CFR 825.500: 3 years</p>
<p>2. Non Exempt Employees</p>	<p>3 years</p>	<p>29 CFR 516.6: 2 years 29 CFR 825.110: Retention not specified 29 CFR 825.500: 3 years</p>
<p>H. INS Forms I-9. Employment Eligibility Verification Forms for employees hired after 11/6/86.</p>	<p>3 years from date of hire, or 1 year after separation, whichever is later (minimum of 3 years)</p>	<p>8 CFR 274a.2: 3 years from date of hire or 1 year after separation whichever is later (minimum of 3 years)</p>

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
I. Non-Hired Applicant Records.	See: Recruitment Records below	
J. Temporary or Seasonal Worker Records. Records documenting work performed for the County by temporary or seasonal workers, including interns (not including payroll or fiscal records).	3 years + current after separation from employment	
K. Training Records.	<i>See: Training Records below</i>	
L. Veterans – Military Leave of Absence.	5 years + current after military leave commences	38 USC 4311-4313: Not specified. Service limit/eligibility for reemployment up to 5 years
M. Volunteer Worker Records. Records documenting work performed for the County by individuals without compensation for their services, including applicants, records of background investigations, individual recognition and timesheets.	3 years after separation from volunteer service	<i>All departments with volunteer workers</i>
EMPLOYMENT AGREEMENTS AND CONTRACTS		
Individual employment contracts or agreements, or where not in writing, a written memorandum summarizing the terms.	3 years after expiration	29 CFR 516.5
MEDICAL RECORDS – EMPLOYEES		
Note: Federal law requires employee medical records to be retained separately from employee files.		
A. ADEA or ADA Medical Exams. Medical exams required under the Age Discrimination in Employment Act (ADEA) or the Americans with Disabilities Act (ADA) in connection with any personnel action.	2 years or until final disposition regarding the personnel action	29 CFR 1627.3(b)(1): 1 year 29 CFR 1602.31: 1 year from the date records made or personnel action
B. Drug and Alcohol Abuse Testing.		
1. Commercial Driver’s License (CDL) Records.	See: Commercial Driver’s License records above	
2. County Policy Drug Testing. Part of “shadow” medical files separate from employee records – includes post accident, pre-employment (for those hired), probable cause, random, etc. and does not include CDL testing.	10 years + current after separation from employment	

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
<p>C. Employee Medical Records Files in General. Includes baseline medical assessments for new employees (if required), hazardous or toxic substance exposure records, radiation exposure records and similar employee medical records.</p>	<p>30 years + current after separation from employment</p>	<p>Employee Medical Records: 29 CFR 1910.1020(d)(1)(i): Duration of employment + 30 years Hazardous or Toxic Substance Exposure: 29 CFR 1910.1020(d)(1)(ii): At least 30 years. Radiation Exposure Records: 29 CFR 1910.1096(n): No retention period specified. 29 CFR 1910.1020(d)(1)(i): Significant Adverse Reactions to Hazardous Materials Exposure: 15 USC 2622: 30 years. 29 CFR 1910.1020: Medical Exams Required by OSHA: Duration of employment + 30 years, unless a specific OSHA standard provides a different time period.</p>
<p>D. FMLA Physical and Medical Records. Records required to be retained under Family and Medical Leave Act (FMLA); includes an FMLA leave request relating to medical certifications, recertification or medical histories of employees or employees' family members.</p>	<p>No less than 3 years</p>	<p>29 CFR 825.500(b): <i>No less than 3 years</i></p>
<p>E. HIPAA Authorizations for Release of Information. Employee (patient) authorizations for release of protected health information.</p>	<p>6 years from the date of creation of the record</p>	<p>45 CFR 164.530(j): <i>6 years from the date of creation</i></p>
<p>F. Respirator Fit Tests.</p>	<p>Until the next fit test is administered</p>	<p>Departments using respirators 29 CFR 1910.34(m)(1)(2): <i>Until the next fit test is administered</i></p>
<p>G. Spirometry Testing Records. Annual lung tests for those who use respirators.</p>	<p>30 years + current after separation from employment</p>	<p>Departments using respirators 29 CFR 1910.34(m)(1) <i>Retain in accordance with 29 CFR 1910.1020 (which is duration of employment + 30 years)</i></p>

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
PAY AND SALARY RECORDS See also Section 12: Finance Records		
A. Pay Plans. Written plans outlining job titles and pay scales for County employees.	Permanent	
B. Salary Surveys. Studies and surveys conducted by the County or its agents to gather comparative salary information for positions in comparable organizations.	3 years + current, or until next salary survey is completed, whichever is longer	
C. Wage-Rate Tables. All tables or schedules (from their last effective date) of the employer which provide the piece rates or other rates used in computing straight-time earnings, wages, or salary, or overtime pay computation.	3 years	29 CFR 516.6(2) Wage Rate: however, Department of Labor may request records back 3 years.
PERSONNEL POLICIES, RULES AND PROCEDURES		
A. Employee Handbooks.	Permanent Duplicate Copies: Until superseded	
B. Personnel Policies, Rules and Procedures - In General. Documentation, including written materials such as personnel policy manuals that would be useful in establishing past policies or procedures in personnel disputes and other circumstances.	Permanent Duplicate Copies: Until superseded	
RECRUITMENT RECORDS		
A. Advertisements. Advertisements for job openings, promotions, training programs or overtime work; job announcements posted internally.	1 year + current from date of related personnel action.	29 CFR 1627.3(b): 1 year from date of personnel action 41 CFR 60-741.80, 41 CFR 60-250.80: 1 year from date of making of the record or the personnel action involved, whichever occurs later

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
B. Applicant Records.		
1. Applicants Hired	See: Employee Records above	
2. Applicants Not Hired Applications and supporting documentation, exams, waivers for job applicants not hired.	2 years + current from the date of the making of the record or the personnel action involved, whichever occurs later.	29 CFR 1602.14 Applications: 1 year from date of personnel action. 29 CFR 1627.3: 1 year + current from the date the record was made or the personnel action was taken, whichever is later. 29 CFR 1602.31: 2 years from the date the record was made or the personnel action was taken, whichever is later.
C. Interviewing Records. Master lists of interview questions asked at hiring interviews.	2 years + current from the date of the making of the record or the personnel action involved, whichever occurs later.	All Interviewing Departments and Human Resources (when HR participates in the interview process) 41 CFR 60-250.80, 41 CFR 60-741.80 Interview Notes: 1 year from date of making of the record or personnel action involved, which occurs later. 29 CFR 1602.31: 2 years from the date records made or personnel action taken, whichever is later.
D. Job Descriptions and Specifications. Written descriptions of duties performed, qualifications and physical requirements for County positions.	2 years Duplicate Copies: Until superseded	29 CFR 1620.32: At least 2 years
E. Test and Examination Records. Aptitude or other tests administered in connection with screening applicants for County employment.	2 years + current from making of the record or the personnel action involved, whichever is later.	29 CFR 1602.31: 2 years + current from the date of making of the record or the personnel action involved, whichever is later 29 CFR 1607.4: Retention not specified 29 CFR 1627.3(b): 1 year from date of personnel action

Section 17: PEOPLE AND CULTURE SERVICES

Records Title	Retention Period	Records Custodian/Location Regulatory Citation/Notations
SAFETY RECORDS		
A. Employee Right to Know Forms. Hazardous materials orientation training.	30 years + current after separation from employment	All departments with hazardous materials.
TRAINING RECORDS		
A. Orientation Training Acknowledgement Forms. Completed during orientation session for new hires.	10 years + current after separation from employment	
B. Technical Training Files. Records relating to technical training and credentials of County employees, i.e., forklift training, operator credentials, etc.	10 years + current after separation from employment	All departments creating such records.
C. Training and Conference Material. Material from external training sessions and conferences.	Destroy at discretion	All departments creating such records.
D. Training Database. Records relating to classes, training attended for individual employees (documentation for vouchers submitted for reimbursement).	Until superseded	Human Resources
E. Training Materials. Records related to training programs oriented by county staff.	Until superseded Records related to training programs presented by county staff.	All departments creating such records.
F. Tuition Reimbursement Records. Applications and supporting documentation for tuition reimbursement for employees.	2 year + current after audit	Human Resources <i>29 CFR 1602.31: 2 years from the date records made or personnel action taken, whichever is later.</i>
UNEMPLOYMENT INSURANCE RECORDS		
A. Unemployment Insurance Claims and Supporting Documentation.	6 years + current	Human Resources
WORKER'S COMPENSATION RECORDS		
See: Section 9: County Attorney and Risk Management Records		

Section 18: PUBLIC TRUSTEE

To the extent the Adams County Public Trustee's Office has the documents indicated; it complies with the **Colorado Public Trustee Records Retention Schedule** that has been approved by Colorado State Archives. The schedule is available at:

<https://www.colorado.gov/pacific/archives/county-record-management-manuals>

SECTION 19: PUBLIC WORKS DEPARTMENT

Record Title	Retention Period	Records Custodian/Location
PUBLIC WORKS DEPARTMENT Government Center 4430 South Adams County Parkway Brighton, CO 80601		
ADMINISTRATIVE DIVISION <i>See Administration and General County Records Section 1</i>		
CONSTRUCTION MANAGEMENT DIVISION		
Agreements. (IGAs, contracts, etc.)	Permanent	Government Center Public Works 4430 South Adams County Parkway Brighton, CO 80601
Intergovernmental Agreements <i>(with other municipalities)</i>		
Contracts/Agreements <i>(with other agencies)</i>		
As-built construction plans/drawings.		
Construction plans		
Drawings		
Field changes		
Construction Permits.		
ROW Permit <i>(street cuts/culverts)</i>		
Road reconstruction		
Issuance of section roadway street cuts		
Surface changes		
Access points/approval documents		
Decision-making documents. <i>not reflected on the original design plans and as-built construction plans.</i>		
Emails		
Correspondence		
Outside agreements/contracts <i>(negotiated between the county and other agencies)</i>		
Flood Plan Use Permit.		
Citizen issued		
Evaluations		
FEMA map updates		
Geotechnical Reports. <i>Results of reports where project to be completed.</i>		
Soil Types		
Support capabilities		
Drainage capabilities		

SECTION 19: PUBLIC WORKS DEPARTMENT

Record Title	Retention Period	Records Custodian/Location
OSL (Oversized Load) Permit.		Government Center Public Works 4430 South Adams County Parkway Brighton, CO 80601
OSL Permits	Retained 2 years <i>after permit issuance</i> <i>(marked for deletion in EDOCS)</i>	
Single move permits		
Annual (<i>renewal</i>) permits		
Heavy equipment <i>(Transport on county roadways)</i>		
Photographs of the construction progress, etc.	Permanent	
Inspections	Permanent	
Utility Cut Permit.	Retained 1 year <i>after inspector has closed</i> <i>the permits in ACCELA</i> <i>(marked for deletion in EDOCS)</i>	
MISCELLANEOUS RECORDS <i>(Construction Management Division)</i>		
Bid documents specifications <i>(special items)</i>	Records retained 5 years <i>Exception: 7 years if the project is Federally Funded</i> <i>All documents for Construction Management will be identified for deletion in E-DOCS by the Database Administrator</i>	Government Center Public Works 4430 South Adams County Parkway Brighton, CO 80601
Bond and Insurance Information <i>(For contractors that work county</i>		
Construction meeting minutes <i>(includes; pre-construction and post-construction) tracking project deliverables and dates.</i>		
MS Project Schedules <i>(when used)</i>		
Project Correspondence <i>(any correspondence associated with project)</i>		
Punch lists <i>(Completion/correction prior to termination)</i>		
Request for information (RFIs)		
Shop Drawings		
Soils testing/materials testing results <i>(made prior to and during construction)</i>	Permanent	
ENGINEERING DIVISION		
Engineering Project Documents, Drawings, Plans, and Files	Permanent <i>(until superseded)</i>	Government Center Public Works 4430 South Adams County Parkway Brighton, CO 80601

SECTION 19: PUBLIC WORKS DEPARTMENT

Record Title	Retention Period	Records Custodian/Location
OPERATIONS DIVISION		
Operational Reports, Policies, and Procedures	Permanent	Government Center Public Works 4430 South Adams County Parkway Brighton, CO 80601
Disabled Parking Request Records (<i>legacy sites</i>)		
Traffic Reports, Policies and Procedures		
Traffic Control Devices - Inventory	5 years	
RIGHT OF WAY RECORDS		
Deeds (<i>Property deeds - Warranty, Quit Claim, etc.</i>)	Permanent	Government Center Public Works 4430 South Adams County Parkway Brighton, CO 80601
Easement Deeds (<i>Permanent Drainage, Utility, Access</i>)		
Encroachment Agreements		
License Agreements		
Offer letters		
Right-of-Way Agreements		
Planning Comm. Resolutions		
BOCC Resolutions		
Closing Statements		
Property/Easement-Related Emails		
Temporary Easements	4 years	
Title Report with back-up docs		
General Information letters		
Notice of Intent letters		
Payment Requisitions		
Appraisal reports/Waiver Valuations	5 years	
Property Owner W-9	1 year	

SECTION 20: RETIREMENT OFFICE

Record Title	Retention Period	Records Custodian/Location
RETIREMENT OFFICE Government Center 4430 South Adams County Parkway Brighton, CO 80601		
BOARD OF RETIREMENT RECORDS		
Board Bylaws	Permanent	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Board meeting notices/agendas		
Board meeting minutes		
Executive or Special Session minutes		
Retirement Board Agreement		
CONTRACTS/AGREEMENTS		
Vendor contracts/service agreements (attorney, actuarial, asset consulting, etc.).	Period that contract/agreement is in effect + 6 years	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Certificates of liability insurance	Period insurance is in effect + 6 years	
Section 218 Agreement documents	Permanent	
FINANCIAL RECORDS		
Actuarial reports/studies	6 years	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Forms 1099-MISC	Current year + 6 years	
Plan financial records		
Plan auditor's reports		
Plan disbursement records		
Pertaining to benefit payments	Permanent	
Pertaining to administrative expenses	Current year + 6 years	
INVESTMENT INFORMATION		
Statements of Investment Policy	Period that policy is in effect + 6 years	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Investment manager searches	6 years	
Investment management agreements	Period that Board retains investment manager + 6 years	
Investment manager compliance certificates		
Investment documents (<i>subscription documents, side letter agreements offering documents</i>)	Period that funds are committed to the investment + 6 years	
MEMBER RECORDS		
Plan administrative forms and related documentation (including benefit calculations and correspondence)	7 years after final payment of all benefits to terminated employee, retiree, beneficiary or joint annuitant	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Domestic relations orders and related documentation		

SECTION 20: RETIREMENT OFFICE

Record Title	Retention Period	Records Custodian/Location
Claims records <i>(requests by member/beneficiaries for Board review of benefit eligibility/amount) and related documentation.</i>	7 years after final payment of all benefits to terminated employee, retiree, beneficiary or joint annuitant.	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Employee records <i>(identifying employee data, history, service, time off, wages) .</i>		
Related payroll records; FICA records and Social Security Administration		
FMLA and Military Leave records		
Disability records		
Employee benefit statements		
Direct rollover documentation		
Forms 1099-R	Current year + 6 years	
List of lost participants	Permanent	
Litigation		
OTHER		
Data provided to actuary for annual valuations.	6 years	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
General Correspondence		
Legal Correspondence	Permanent	
Vendor Correspondence	Full period that Board retains vendor + 6 years	
PLAN DOCUMENTS		
Plan documents and corresponding certificate/Board resolution.	Permanent	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Plan amendments and corresponding certificate/Board resolution.		
Trust Agreement and corresponding certificate/Board resolution.		
Trust Agreement amendments and corresponding certificate/Board resolution.		
Board resolutions and corresponding certificate.		
PLAN RELATED DOCUMENTS		
Powers of Attorney	6 years	Government Center <i>Retirement Office</i> 4430 South Adams County Parkway Brighton, CO 80601
Summary Plan Descriptions	Permanent	
Summary Plan Descriptions Updates		
General employee communications (excluding communications to individual employees).		
IRS notices, determination letters, communications.		

Section 21: SHERIFF

Please contact the Adams County Sheriff's Office at:

Sheriff's Office

Records/Warrants

4201 East 72nd Avenue, Suite C

Commerce City, CO 80022-1578

Phone: 720-322-1313

Fax: 720-322-1333

Section 22: SURVEYOR

This section is reserved. See, generally **Section 1**, Administration and General County Records and **Section 7**, Community and Economic Development.

Section 23: TREASURER

To the extent the Adams County Treasurer's Office has the documents indicated; it complies with the **Colorado County Treasurer Records Retention Schedule** that has been approved by Colorado State Archives. The schedule is available at:

<https://www.colorado.gov/pacific/archives/county-record-management-manuals>



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 16, 2018
SUBJECT: Accepting a Warranty Deed from Kathryn J. Watson, Jess Watson, Jr., Kevin Watson, and Lesley D. Watson to Adams County conveying property for right-of-way purposes
FROM: Jeffery Maxwell, P.E., PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: Board of County Commissioners accepts the Warranty Deed by resolution

BACKGROUND:

Adams County is acquiring property in conjunction with a 35-acre development, located in the Northeast Quarter of Section 24, Township 1 South, Range 64 West of the 6th Principal Meridian. The attached resolution will allow the County to accept the right-of-way dedication.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney, Planning Commission and Adams County Board of County Commissioners

ATTACHED DOCUMENTS:

Draft Resolution
Warranty Deed
Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO**

**RESOLUTION ACCEPTING A WARRANTY DEED FROM KATHRYN J. WATSON,
JESS WATSON, JR., KEVIN WATSON, AND LESLEY D. WATSON TO ADAMS
COUNTY CONVEYING PROPERTY FOR RIGHT-OF-WAY PURPOSES**

Resolution 2018-

WHEREAS, the Planning Commission for Adams County, Colorado, has considered the advisability of accepting a Warranty Deed from Kathryn J. Watson, Jess Watson, Jr., Kevin Watson and Lesley D. Watson, for right-of-way dedication for East 144th Avenue, located in the Northeast Quarter of Section 24, Township 1 South, Range 64 West of the 6th Principal Meridian, County of Adams, State of Colorado, as described in the attached Warranty Deed; and,

WHEREAS, this Warranty Deed is in conjunction with a proposed 35-acre development of vacant land; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday, September 20, 2018, the Adams County Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed received from Kathryn J. Watson, Jess Watson, Jr., Kevin Watson and Lesley D. Watson, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 8 day of Sept 2018, between **Kathryn J. Watson, Jess Watson, Jr., Kevin Watson, and Lesley D. Watson**, whose address is 2942 E. 133rd Circle, Thornton, Colorado 80241, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for East 144th Avenue
Assessor's schedule or parcel number: part of 01565-00-0-00-070

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensealing and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

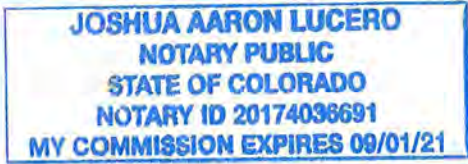
Kathryn J. Watson
By: Kathryn J. Watson

STATE OF Colorado)
County of Adams) §

The foregoing instrument was acknowledged before me this 8th day of September, 2018, by Kathryn J. Watson.

Witness my hand and official seal.
My commission expires: 9/1/21

[Signature]
Notary Public



Jess Watson, Jr.

By: Jess Watson Jr

STATE OF Colorado)
County of Adams) §

The foregoing instrument was acknowledged before me this 8th day of September, 2018, by Jess Watson, Jr.

Witness my hand and official seal.
My commission expires: 9/1/21

JOSHUA AARON LUCERO
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174036691
MY COMMISSION EXPIRES 09/01/21

[Signature]
Notary Public

Kevin Watson

By: [Signature]

STATE OF Colorado)
County of Adams) §

The foregoing instrument was acknowledged before me this 8th day of September, 2018, by Kevin Watson.

Witness my hand and official seal.
My commission expires: 9/1/21

JOSHUA AARON LUCERO
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174036691
MY COMMISSION EXPIRES 09/01/21

[Signature]
Notary Public

Lesley D. Watson

By: Lesley D. Watson

STATE OF Colorado)
County of Adams) §

The foregoing instrument was acknowledged before me this 8th day of September, 2018, by Lesley D. Watson.

Witness my hand and official seal.
My commission expires: 9/1/21

JOSHUA AARON LUCERO
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174036691
MY COMMISSION EXPIRES 09/01/21

[Signature]
Notary Public

Exhibit 'A'

THE SOUTH 40.00 FEET OF THE NORTH 70.00 FEET OF THE NORTHEAST 1/4 OF SECTION 24,
TOWNSHIP 1 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS,
STATE OF COLORADO.

CONTAINS 2.42 ACRES, MORE OR LESS.

DESCRIPTION PREPARED BY:

MERLE R. HOOS, PLS 38046
FOR AND ON BEHALF OF
AMERICAN WEST LAND SURVEYING CO.
A COLORADO CORPORATION





PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 16, 2018
SUBJECT: Resolution Regarding Defense and Indemnification of Luke Bergman as a Defendant Pursuant to C.R.S. § 24-10-101, et seq., 2018CV00054
FROM: Heidi Miller, County Attorney and Kerri Booth, Assistant County Attorney
AGENCY/DEPARTMENT: County Attorney's Office
HEARD AT STUDY SESSION ON N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Adopt the Resolution Regarding Defense and Indemnification of Luke Bergman as a Defendant Pursuant to C.R.S. § 24-10-101, et seq.

BACKGROUND:

Deputy Luke Bergman is an employee of the Adams County Sheriff's Office who has been sued by a current inmate at the Adams County Detention Facility. The plaintiff brings this case as a result of a verbal exchange that took place between the inmate and Deputy Bergman.

The Board of County Commissioners formally indemnifies employees and elected officials who are named in civil lawsuits. The County Attorney's Office has reviewed the facts of this lawsuit and it has been determined that the employees/elected officials named in the lawsuit were acting within the course and scope of their employment at all relevant times.

The County Attorney's Office is recommending that the following employees/elected officials be indemnified for any potential damages that might arise out of this litigation: Deputy Luke Bergman.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Sheriff's Office

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

Potential fiscal impact is unknown. If litigation results in settlement or judgment against the County or its employees/elected officials, there would be a fiscal impact. The potential amount of that impact is impossible to estimate at this time.

RESOLUTION REGARDING DEFENSE AND INDEMNIFICATION OF LUKE BERGMAN AS A DEFENDANT PURSUANT TO C.R.S. § 24-10-101, ET SEQ.

WHEREAS, Adams County is a public entity pursuant to the Colorado Governmental Immunity Act; and,

WHEREAS, Adams County is obligated to bear the cost of the defense of its elected officials and employees and pay all judgments entered against its elected officials and employees pursuant to the Colorado Governmental Immunity Act so long as they acted within the course and scope of their employment and their acts were not willful and wanton; and,

WHEREAS, Luke Bergman has been sued in the matter of *Colin Thompson v. Luke Bergman, et al.* in the Adams County District Court, Case Number 2018CV00054; said Defendant, being an employee of Adams County at the time of the incident described in the Complaint; and,

WHEREAS, initial investigation has revealed to the satisfaction of the Board of County Commissioners and the determination has been made that the Defendant appears to have acted within the course and scope of his employment and his actions do not appear to be willful and wanton; and,

WHEREAS, pursuant to C.R.S. §§ 24-10-110, 24-10-113 and 24-10-118(5) Adams County hereby determines that it is in the public interest to bear the cost of defense for the Defendant against all asserted claims for compensatory and punitive damages which may be pled and to pay or settle any such compensatory and punitive damage claims against said Defendant; and,

WHEREAS, in exchange for such defense, the Defendant is required to cooperate fully in the defense of this matter, including but not limited to, assisting in the discovery process, participating in mediation, facilitation, or other measures deemed appropriate by the Board of County Commissioners, and Defendant acknowledges that Adams County may settle on behalf of the Defendant any or all asserted claims, including those for personal liability and punitive damages.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that Adams County shall bear the cost of defense for Luke Bergman against all asserted claims for compensatory and punitive damages

which may be pled and to pay or settle any such compensatory and punitive damage claims against said Defendant in the matter of *Colin Thompson v. Luke Bergman, et al.*

BE IT FURTHER RESOLVED, that the Adams County Attorney is directed to enter her appearance as counsel for Defendant and to defend this matter.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: 10/16/18
SUBJECT: A RESOLUTION OPPOSING “AMENDMENT 74”, AN ATTEMPT TO AMEND THE COLORADO CONSTITUTION TO DRASTICALLY LIMIT STATE AND LOCAL GOVERNMENT SERVICES AT A HIGH COSTS TO TAXPAYERS
FROM: Adam Burg, Legislative and Government Affairs Administrator
AGENCY/DEPARTMENT: County Managers Office/ Regional Affairs
HEARD AT STUDY SESSION ON: 10/02/18
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolution.

BACKGROUND:

This amendment would require the state or a local government to compensate a property owner if a law or regulation reduces the fair market value of his or her property.

Both the Colorado Constitution and state law specify that a government may not take or damage private property without providing compensation to the owner. Procedures in law exist to evaluate and challenge government decisions that lead to takings or cause damages, including asking for public and property owner input and establishing the amount of compensation owed.

There are three primary ways that the state or a local government can take or damage private property. Governments in Colorado are generally required to compensate a property owner in these cases. The first type of taking is called “eminent domain.” A government may take land from a private property owner for a public use or benefit. For example, a government may take land from a property owner to expand a highway.

The second type of taking occurs if a government causes damage to private property, whether intentional or accidental. For example, a government may build a road that limits access to an individual’s property.

The third type of taking is a “regulatory taking,” which occurs when a government enacts a law or regulation that deprives a property owner of the use or value of his or her property, even though he or she usually maintains ownership of the property. For example, a government may prohibit a property owner from constructing buildings on his or her property, leaving the property with almost no value. If approved this amendment expands the circumstances under which the state or a local government is required to provide compensation to a property owner for a regulatory taking.

Under this measure, a law or regulation that results in any decrease in the fair market value of a property, as opposed to the current standard of an almost total loss in value or use, becomes a regulatory taking. For example, if a government limits natural gas development, the owner of the mineral rights could file a claim for the reduced value of his or her property.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

None

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

N/A

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION OPPOSING “AMENDMENT 74”, AN ATTEMPT TO AMEND THE
COLORADO CONSTITUTION TO DRASTICALLY LIMIT STATE AND LOCAL
GOVERNMENT SERVICES AT A HIGH COSTS TO TAXPAYERS

Resolution 2018-XXX

WHEREAS, local government services are essential to the citizens of Adams County; and,

WHEREAS, Amendment 74 declares that any state or local government law or regulation that “reduces” the “fair market value” of a private parcel is subject to “just compensation;” and,

WHEREAS, while Amendment 74 is shrouded in simple language, it has far reaching and complicated impacts; and,

WHEREAS, under the current Colorado Constitution, a property owner already has the right to seek compensation from state or local governments; and,

WHEREAS, Amendment 74 would expand this well-established concept by requiring the government – i.e., the taxpayers – to compensate private property owners for virtually any decrease whatsoever in the fair market value of their property traceable to any government law or regulation; and,

WHEREAS, Amendment 74 would severely limit the ability of Colorado’s state and local governments to do anything that might indirectly, unintentionally, or minimally affect the fair market value of any private property; and,

WHEREAS, Amendment 74 would drastically diminish the ability of our state and local governments to adopt – let alone attempt to enforce – reasonable regulations, limitations, and restrictions upon private property; and,

WHEREAS, Amendment 74 would place laws, ordinances, and regulations designed to protect public health and safety, the environment, our natural resources, public infrastructure, and other public resources in jeopardy; and,

WHEREAS, Amendment 74 would directly impact zoning, density limitations, and planned development; and,

WHEREAS, Amendment 74 would make inherently dangerous or environmentally damaging activities prohibitively costly to attempt to limit or regulate, even in the interest of the public; and,

WHEREAS, any arguable impact upon fair market value – however reasonable, justified, minimal, incidental, or temporary – resulting from state or local government action could trigger a claim for the taxpayers to pay; and,

WHEREAS, governments would be vulnerable to lawsuits for almost every decision to regulate or not to regulate, making regular government function prohibitively expensive for the taxpayer; and,

WHEREAS, similar efforts have been attempted and defeated in other states, such as the states of Washington and Oregon; and,

WHEREAS, the fiscal impact for similar language in Washington was estimated at \$2 billion dollars for state agencies and \$1.5 billion for local governments over the first six years; and,

WHEREAS, individuals filed billions of dollars in claims in Oregon before the residents repealed the takings initiative three years after its passage.

NOW THEREFORE, BE IT RESOLVED, THAT: The Adams County Board of Commissioners opposes Amendment 74.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: 10/16/18
SUBJECT: RESOLUTION IN SUPPORT OF "PROPOSITION 110", A BALLOT INITIATIVE TO HELP ADDRESS COLORADOS TRANSPORTATION NEEDS
FROM: Adam Burg, Legislative and Government Affairs Administrator
AGENCY/DEPARTMENT: County Managers Office/ Regional Affairs
HEARD AT STUDY SESSION ON: 10/02/18
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolution.

BACKGROUND:

This initiative proposes amending the Colorado statutes to:

- Increase the state's sales and use tax rate from 2.9 percent to 3.52 percent for 20 years.
- Distribute the new tax revenue for transportation as follows: 45 percent to the state; 40 percent to local governments; and 15 percent for multimodal transportation projects.
- Permit the state to borrow up to \$6.0 billion for transportation projects and limit the total repayment amount, including principal and interest, to \$9.4 billion over 20 years.

The measure increases state distributions to local governments for transportation projects by \$146.4 million (half-year impact) in state budget year 2018-19, and by \$306.7 million in state budget year 2019-20. These increases continue for 20 years.

The state sales tax is paid on the purchase price of most items. Some items are exempt, such as food bought at grocery stores, prescription drugs, household utilities, and gasoline. The tax applies to some services, including telephone service, food and drink service at restaurants and bars, and short-term lodging. The state use tax is paid when sales tax was due but not collected. In addition to the state's 2.9 percent rate, most cities and counties also have sales and use taxes. Combined state and local sales tax rates in Colorado range from 2.9 percent to 11.2 percent, depending on where a purchase is made.

Beginning January 1, 2019, the measure increases the state sales tax rate from 2.9 percent to 3.52 percent for 20 years. The measure is estimated to raise about \$767 million in the first year that it applies. Under the measure, the average amount of sales tax paid by a Colorado family with an average income of \$74,374 is estimated to increase by \$131.

The state's share of the additional tax revenue will be spent by CDOT on state transportation projects that address safety, maintenance, and congestion and to repay borrowing under this measure for transportation projects. The Transportation Commission, an 11-member body appointed by the Governor to prioritize statewide transportation needs, will determine the use of these funds. The local share of the additional revenue will be distributed to every city and county 28 for transportation projects based on an existing formula in state law.

The additional tax revenue identified for multimodal transportation projects will mostly be spent by local governments. Multimodal transportation provides additional transportation options and includes bike paths, sidewalks, and public transit, such as buses, rail, and rides for the elderly and disabled. This proposition permits CDOT to borrow up to \$6.0 billion by selling transportation revenue bonds.

The total repayment amount, including principal and interest, is limited to \$9.4 billion over 20 years, and the state must reserve the right to repay the bonds ahead of schedule without penalty. Assuming the repayment schedule is for the full \$9.4 billion over 20 years, the average annual repayment cost will be \$470 million. Actual repayment amounts will vary depending on the terms of the revenue bonds. The measure creates a citizen oversight commission to annually report on the use of the bond proceeds.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

None

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

N/A

**BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO**

**RESOLUTION IN SUPPORT OF PROPOSITION 110, A BALLOT INITIATIVE TO HELP ADDRESS
COLORADOS TRANSPORTATION NEEDS**

Resolution 2018-XXX

WHEREAS, a modern, safe, and efficient 21st century transportation system is essential to Colorado's quality of life and the health of our economy; and,

WHEREAS, Colorado's population has grown nearly 60 percent since 1991, while state transportation spending per driver, adjusted for inflation, has been cut in half over that same time period; and,

WHEREAS, increased demands on our roads and bridges have resulted in increased traffic congestion, lost worker productivity, and deep frustration among local citizens; and,

WHEREAS, the Colorado Department of Transportation has identified \$9 billion in much-needed projects that lack funding; and,

WHEREAS, there has been a significant lack of resources available to local communities to address traffic congestion, maintenance needs, and safety concerns; and,

WHEREAS, the failure to adequately maintain roads and bridges costs the average Coloradan an average of \$468 in repairs per year, due to damage and unnecessary wear-and-tear to vehicles; and,

WHEREAS, truly addressing Colorado's transportation challenges requires a dedicated, sufficient, and guaranteed stream of revenue, such as that which is proposed in Proposition 110; and,

WHEREAS, a bipartisan coalition of local elected officials, business leaders, labor unions, environmentalists, transit groups, and community activists have joined together to develop Proposition 110 to ask voters to raise the state sales tax by .62 percent for transportation needs; and,

WHEREAS, Proposition 110 will raise \$767 million in its first year and allow for bonding of \$6 billion for state projects; and,

WHEREAS, 40 percent of the new revenue will go to county and municipal governments to address local transportation needs and 15% will go to multi-modal transit; and,

WHEREAS, Colorado voters will be able to vote on Proposition 110 in the November, 2018 election.

NOW THEREFORE, BE IT RESOLVED, THAT: The Adams County Board of Commissioners joins with leaders across the state in endorsing Proposition 110 as the best answer to address years of neglect of our state's transportation needs and to address the concerns we have heard from our local citizens.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 16, 2018
SUBJECT: Shooting Range Remediation Agreement
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Community and Economic Development Department
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Five to the agreement with Quantum Water Consulting to provide continuing Environmental Consultant Services for the Sheriff's Office Old Shooting Range Remediation Project.

BACKGROUND:

Quantum Water Consulting was awarded an agreement in 2015, for Environmental Consulting Services for remediation planning at the Sheriff's Office Old Shooting Range. The initial work scope was to perform Environmental Site Assessment, identify the potential work scope, and coordinate preliminary plans with Colorado Department of Public Health and Environment (CDPHE) for eventual remediation.

The original agreement was an initial one year term with two one year renewal options that ended in September 2018. Quantum Water Consulting has designed and developed a two phase plan for the Old Shooting Range which includes Building Demolition, Soil Remediation, and Landfill Closure. After remediation is complete, the site will be able to accommodate a small solar farm to allow a beneficial end use. The first phase of remediation is anticipated to be completed in October 2018, with the second phase commencing in early 2019 and lasting for several months.

In order to provide continuity for the County and to ensure property clean-up is completed on time and according to plan, it is recommended to extend the agreement with Quantum Water Consulting for one additional year until completion of the project. There are no additional funds needed for this agreement at this time.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community and Economic Development Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT FIVE TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND QUANTUM WATER CONSULTING FOR ENVIRONMENTAL
CONSULTING SERVICES

WHEREAS, on September 23, 2015, Quantum Water Consulting was awarded an agreement to provide consulting and remediation services for the Sheriff's Office Old Shooting Range; and,

WHEREAS, the two one-year renewal options ended in September of 2018; and,

WHEREAS, in order to have continuity on the project it is recommended to extend the agreement for one additional year to complete the project; and,

WHEREAS, Quantum Water Consulting agrees to extend the agreement with no additional costs at this time.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Five to the Agreement between Adams County and Quantum Water Consulting for Environmental Consulting Services is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment Five after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 16, 2018
SUBJECT: 2018 Street Paving Program
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Public Works Department
HEARD AT STUDY SESSION ON: June 26, 2018
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Change Order Two to the agreement with Martin Marietta Materials Inc., for additional Construction Services for the Adams County 2018 Street Paving Program.

BACKGROUND:

In April 2018, Martin Marietta Materials Inc., was awarded an agreement to provide Construction Services for the 2018 Street Paving Program. During the initial work completion phase, the level of effort significantly increased to include an additional five (5) inches of pavement along Hayesmount Road. Change Order 1 was issued for this work and approved by the Board of County Commissions on September 18, 2018.

Change Order Two is being requested for additional project construction services, at the established bid item pricing excluding mobilization, for repair and overlay work on Imboden Road from 88th Avenue south to the Aurora City Limit, at approximately 64th Avenue. This work was originally scheduled for completion in 2019, however the Public Works Department determined that these services are necessary for 2018 due to the current traffic loads and the advanced pavement surface deteriorating rate.

This change was presented to the Board of County Commissioners at the June 26, 2018 Study Session during Administrative Item Review.

The contract breakdown is as follows:

Original Contract Amount	\$ 5,338,670.69
Change Order One	\$ 920,641.09

Change Order Two	\$ 1,065,223.70
New Total Contract Value	\$ 7,324,535.48

It is recommended to approve Change Order Two to the Agreement with Martin Marietta Materials Inc., in the amount of \$1,065,223.70 for a total contract not to exceed amount of \$7,324,535.48.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 13
Cost Center: 3055

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7820		\$8,000,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$8,000,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING CHANGE ORDER TWO TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND MARTIN MARIETTA MATERIALS INC., FOR ROADWAY
IMPROVEMENT CONSTRUCTION SERVICES

WHEREAS, in April 2018, Martin Marietta Materials Inc., was awarded an agreement to provide Roadway Improvement Construction Services for the 2018 Adams County Street Paving Project; and,

WHEREAS, additional services were determined necessary to add to the scope of work, including increased construction budget at the established bid item pricing, for repair and overlay on Imboden Road from 88th Avenue south to the Aurora City Limit, at approximately 64th Avenue; and,

WHEREAS, Martin Marietta Materials Inc., has agreed to provide the additional construction services in the not to exceed amount of \$1,065,223.70 for a total agreement price of \$7,324,535.48.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Change Order Two to the Agreement between Adams County and Martin Marietta Materials Inc., for Roadway Improvement Construction Services for the 2018 Adams County Street Paving Project is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign said Change Order Two with Martin Marietta Materials Inc., after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 16, 2018
SUBJECT: 2018 Scour Critical and Structural Rehabilitation Project
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Public Works Department
HEARD AT STUDY SESSION ON: April 10, 2018
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Change Order Two to the agreement with Jalisco International Inc., for additional Construction Services for the Adams County 2018 Scour Critical and Structural Rehabilitation Project, on Riverdale Road over Todd Creek.

BACKGROUND:

In November of 2017, Jalisco International Inc., was awarded an agreement to provide Construction Services for the 2018 Scour Critical and Structural Rehabilitation Project, on Riverdale Road over Todd Creek.

During the initial work completion phase, additional time for construction services were determined necessary resulting in Change Order One. No additional costs were needed for that Change Order.

Change Order Two is being requested for additional construction services per the field revisions as provided by the Engineer of Record. The construction services to be added to the scope of work include: an increase of construction budget to address unforeseen field conditions, revisions by the Engineer of Record, existing items of structural steel, new items of filter material (Class C), riprap (12 Inch), structural steel (Special), welding, and additional Contract Management services.

This change order information was presented to the Board of County Commissioners at the April 10, 2018 Study Session during Administrative Item Review (AIR).

The contract breakdown is as follows:

Initial Agreement	\$ 787,658.00
Change Order One	\$ 0.00

Change Order Two	\$ 61,099.84
New Total Contract Value	\$ 848,757.84

It is recommended to approve Change Order Two to the Agreement with Jalisco International Inc., in the amount of \$61,099.84 for a total contract value of \$848,757.84.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 13
Cost Center: 3032

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7820		\$2,127,200
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
\$Total Expenditures:			<hr/> \$2,127,200

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING CHANGE ORDER TWO TO THE AGREEMENT BETWEEN ADAMS
COUNTY AND JALISCO INTERNATIONAL INC., FOR CONSTRUCTION SERVICES FOR THE
SCOUR CRITICAL AND STRUCTURAL REHABILITATION PROJECT

WHEREAS, in November 2017, Jalisco International Inc., was awarded an agreement to provide Construction Services for the Scour Critical and Structural Rehabilitation Project, on Riverdale Road over Todd Creek; and,

WHEREAS, additional services were determined to be necessary to add to the scope of work and increase the construction budget to address unforeseen field conditions, revisions by the Engineer of Record, existing items of structural steel, new items of filter material, and additional contract management services; and,

WHEREAS, Jalisco International Inc., has agreed to provide the additional construction services in the not to exceed amount of \$61,099.84 for a total agreement price of \$848,757.84.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Change Order Two to the Agreement between Adams County and Jalisco International Inc., for the Scour Critical and Structural Rehabilitation Project, on Riverdale Road over Todd Creek is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign said Change Order Two with Jalisco International Inc., after negotiation and approval as to form is completed by the County Attorney's Office.



COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT

CASE NO.: RCU2018-00013

CASE NAME: Watkins Pipeline

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- 3.2 Preferred Alignment
- 3.3 Alternative Alignments
- 3.4 Development Agreement

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- 4.2 Referral Comments (Tri-County Health)
- 4.3 Referral Comments (CDPHE)
- 4.4 Referral Comments (CPW)
- 4.5 Referral Comments (United Power)
- 4.6 Referral Comments (Brighton Fire)
- 4.7 Referral Comments (CDOT)
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- 5.1 Hopkins
- 5.2 Thomas
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- 6.3 Newspaper Publication
- 6.4 Referral Agency Labels
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- 6.6 Certificate of Posting

Board of County Commissioners

October 16, 2018

CASE No.: RCU2018-00013	CASE NAME: Watkins Pipeline
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Owner's Name:	Discovery DJ Services, LLC
Applicant's Name:	Discovery DJ Services, LLC
Applicant's Address:	7859 Walnut Hill Lane, Suite 335, Dallas, TX, 75230
Location of Request:	Multiple Parcels see Exhibit 3.2
Nature of Request:	Conditional Use Permit to allow construction of a 20-inch natural gas and 20-inch crude oil pipeline for approximately 21.5 miles
Zone District:	Agriculture-3 (A-3) and Planned Unit Development (PUD)
Site Size:	Approximately 21.5 miles
Proposed Uses:	Oil and Gas Infrastructure (Pipeline)
Existing Use:	Agriculture and Residential
Hearing Date(s):	PC: October 11, 2018/ 6:00 pm
	BOCC: October 16, 2018/ 9:30 am
Report Date:	October 3, 2018
Case Manager:	Emily Collins
Staff Recommendation:	APPROVAL with 33 Findings-of-Fact and 1 condition

BOCC UPDATE

The subject request was scheduled to be considered by the Planning Commission on September 13, 2018. However, due to a publication error, the request was rescheduled for the October 11th Planning Commission meeting hearing date. Staff will provide an update of the Planning Commission hearing and decision during the October 16, 2018 Board of County Commissioners public hearing to consider the request.

SUMMARY OF APPLICATION

Background:

The applicant, Discovery DJ Services, LLC, is requesting a conditional use permit to allow construction of approximately 21.5 miles of a new 20-inch natural gas and 20-inch crude oil pipeline. According to the applicant, advances in oil and gas extraction technology have led to general increased in production of oil and gas throughout the state. This increased in production

of oil and gas has led to the need to increase capacity of existing infrastructure to be able to transport the oil and gas products through pipelines, instead of large trucks that tend to impact local road networks.

Site Characteristics:

The length of the proposed two pipelines is approximately 21.5 miles. The lines commence on a parcel in Aurora with a proposed well pad and run east through the intersection of Manilla Road and Interstate-70 for one-mile, continuing north cross Colfax Avenue, for approximately 20 miles to Weld County (See exhibit 3.2).

A majority of parcels along the preferred route are primarily designated as Agriculture-3 (A-3) which are intended for land holdings of at least 35 acres for dryland or irrigated farming, pasturage, or other food production related uses. There are three vacant parcels along the alignment that are designated as Planned Unit Development (PUD). There is a proposed development on these parcels to allow it to be developed as an industrial park. The majority of the impacted parcels along the preferred route are developed with agricultural and single-family residential uses. Overall, the preferred route crosses 22 county roads.

The parcels in the preferred alignment are also located within the Airport Noise (ANO) and Airport Influence Zone (AIZ) Overlays. The ANO restricts certain land uses, specifically development that may include occupied buildings, to reduce conflicts associated with noise levels generated by airport uses. The AIZ designation is intended to provide areas within the County suitable for economic development related to general aviation uses. The proposed development does not include any occupied buildings and will be located entirely underground. According to the applicant, the pipelines are typically buried a minimum of 48-inches deep. The proposed construction of two pipelines will not produce attract wildlife, and will not be detrimental to flight operations or future development of the area.

Development Standards and Regulations Requirements:

Oil and gas development is overseen by federal, state, and local regulations. Section 4-10-02-03-03 of the County's Development Standards and Regulations outlines requirements for oil and gas well drilling and production activities in the County. This Section defines oil and gas facilities as the site associated with equipment used for production, treatment, and storage of oil and gas waste products, an individual well pad built with one or more wells, temporary storage of oil and gas, or any other oil and gas operation which may cause significant degradation to the environment.

Section 4-10-02-03-03-06 of the Development Standards and Regulations further outlines the County's process for permitting new oil and gas development. Specifically, the process follows a two pronged approach: 1) Obtain a Special Use Permit from the Board of Adjustment; or 2) Execute a Memorandum of Understanding (MOU) with the County and submit for approval an Administrative Use by Special Review permit for each well pad. The MOU allows administrative review and approval for well connects that are "10 inches or less inside a diameter and 2 miles or less in length, laid running from the custody transfer point or production facility for a new well (s) to an existing gathering line connection point". However, in cases where pipelines do not meet the definition of well connects, a conditional use permit is required.

Therefore, the proposed pipeline requires a conditional use permit as it exceeds 2 miles in total length.

Section 2-02-08-06 of the County's Development Standards and Regulations outlines the criteria for approval of a conditional use permit. These include compliance with the County's Development Standards and Regulations; compatibility with the surrounding area, the request must be permitted in the zone district, and must address all off-site impacts. In addition, the proposed use is required to be harmonious with the character of the neighborhood, and must not be detrimental to the immediate area, or to the health, safety, or welfare of the inhabitants of the area and the County. The conditional use must also not result in excessive traffic generation, noise, vibration, dust, glare, odors, or operate during odd hours that will be inconvenient to the neighborhood. Further, the site must be suitable for the conditional use including adequate usable space, access, and absence of environmental constraints.

In addition to the conditional use permit, the applicant is required to address review items and requirements outlined in Section 6-07-02 of the County's Development Standards and Regulations pertaining to Areas and Activities of State Interest permits. These items include:

- Information describing the applicant
- Information describing the project, including at least 3 alternatives
- Information on property rights, permits, and other approvals
- Financial feasibility of the project
- Land use
- Local governmental services
- Financial burden on residents
- Local economy
- Recreational opportunities
- Environmental impact analysis including water (surface and ground water), visual impacts, air quality, wetland and riparian areas, flora and fauna, soils, geologic conditions, and areas of paleontological, historic or archaeological importance.

According to the applicant, the proposed 20-inch natural gas and 20-inch crude oil pipeline are necessary to transport oil and gas products from producing wells and facilities. Such alternative transportation system will reduce impacts from using large trucks to transport the oil and gas. From the project summary and description, the pipelines would be placed outside the ultimate right-of-way along all County roads and buried a minimum of 48-inches. The lines would all be buried in a trench and inspected for safety and durability prior to being covered. The applicant has obtained all the necessary temporary easements needed along the proposed route for construction of the lines, as well as the majority of the permanent easements from property owners. The applicant would be required to apply for permits for any construction work in the County's right-of-way.

As part of the site selection process for the proposed pipelines, the applicant considered three alternative routes and the potential impacts of each (See exhibit 3.3) and ultimately selected the preferred route. The selected option has less impact on surrounding properties or environmental protected areas. From the considered alternatives, alternative #1 decreased the overall route length by less a 1-mile while alternative #2 decreased the length by approximately 2-miles.

However, both of these alternatives impact more properties. The applicant also conducted an environmental assessment of all three routes and considered land use, vegetative communities, aquatic resources such as wetlands, wildlife habitat, ambient air quality, and any areas of cultural or historical significance in the assessment. The report concluded potential minor short-term impacts to air quality during construction of the pipeline. The preferred alignment does not cross any major bodies of water, wetland, or riparian areas. All three alignments contained active raptor nesting areas. The applicant is required to coordinate construction schedules to ensure they occur outside of seasonal nesting times of the raptors.

The proposed request conforms to the criteria for approval of a conditional use permit including compatibility with the surrounding area, addressing off-site impacts, and not being detrimental to health, safety, or welfare of residents in the County. The pipeline route is the best alternative that minimizes potential impacts on existing residential developments. The majority of the property that the pipeline traverses through is predominately used for agriculture and construction of the pipeline will not impede current or future use of these properties. There will be minimal noise, vibration, dust, or traffic associated with after construction is complete.

Development Agreement

As part of this request, the applicant has agreed to enter into a Development Agreement (Exhibit 3.4) with the County. The development agreement addresses pre-construction requirements, construction and operational standards of the pipelines, and maintenance.

Future Land Use Designation/Comprehensive Plan:

The future land use designations on the preferred route are Agriculture and Mixed Use Employment. Per Chapter 5 of the County's Comprehensive Plan, Agriculture areas are not expected to develop, except for very low density residential at 1 dwelling per 35 acres. Mixed Use Employment areas are intended to support a mixture of employment uses, including offices, retail, and clean, indoor manufacturing, distribution, warehousing, and airport and technology uses.

The request conforms to the goals of the Comprehensive Plan, as the section of land areas to construct the pipelines will not be developed. In addition, the Airport Height and Noise Overlays restrict future development of occupied buildings near the airport. This limitation is due to potential nuisance conditions created by noise generated from aviation activities. The affected properties designated as Mixed Use Employment may be developed with employment uses such as an industrial business park; however, the buried pipeline will not be detrimental to future development on those properties. The proposed pipeline will also reduce large truck traffic on the County's road network and reduce impacts of such trucks on the County's road network.

Compatibility with the Surrounding Area:

A majority of the surrounding properties to the proposed route are designated as A-3 and developed with agricultural uses. The request to allow a buried natural gas and crude oil pipeline will be compatible with uses on the surrounding properties and not detrimental to the character of the neighborhood. In addition, the plans provided with the application shows the alignment will be designed and constructed to mitigate potential noise, odor, and traffic that may be associated with the pipeline. Staff is also recommending conditions of approval to ensure the

applicant adheres to all federal, state, and local regulations as well as pre-construction, construction, and operational standards.

Referral Comments:

United Power, Brighton Fire, and CDPHE reviewed the request and had no concerns. CDOT stated a permit will be required for any construction along the state highways (Colfax Avenue). Tri-County Health Department reviewed the request and provided the applicant examples of best management practices to identify onsite wastewater treatment systems and water wells that could likely be impacted. Tri-County also noted a discharge permit would be required if trench dewatering becomes necessary during construction. Colorado Parks and Wildlife also reviewed the request and provided the applicant information on best management practices for construction during nesting season, guidelines for performing wildlife surveys, and weed management strategies to prevent the spread of noxious weeds. Xcel Energy reviewed the proposed alignment and noted the presence of existing electric transmission lines along a portion of the route. The applicant shall be required to coordinate with Xcel for any permitting requirements.

Staff Recommendations:

Based upon the application, the criteria for approval for a conditional use permit, areas and activities of state interest permit, and a recent site visit, staff recommends Approval of this request with 33 findings-of-fact and 1 condition:

RECOMMENDED FINDINGS OF FACT

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.

8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.
9. Documentation that prior to site disturbance associated with the Proposed Project, the Applicant can and will obtain all necessary property rights, permits and approvals. The Board may, at its discretion, defer making a final decision on the application until outstanding property rights, permits and approvals are obtained or the Board may grant a Permit with conditions and/or conditions precedent which will adequately address outstanding concerns.
10. The Proposed Project considers the relevant provisions of the regional water quality plans.
11. The Applicant has the necessary expertise and financial capability to develop and operate the Proposed Project consistent with all requirements and conditions.
12. The Proposed Project is technically and financially feasible.
13. The Proposed Project is not subject to significant risk from Natural Hazards.
14. The Proposed Project is in general conformity with the applicable comprehensive plans.
15. The Proposed Project does not have a significant adverse effect on the capability of local government to provide services or exceed the capacity of service delivery systems.
16. The Proposed Project does not create an undue financial burden on existing or future residents of the County.
17. The Proposed Project does not significantly degrade any substantial sector of the local economy.
18. The Proposed Project does not unduly degrade the quality or quantity of recreational opportunities and experience.
19. The planning, design and operation of the Proposed Project reflects principals of resource conservation, energy efficiency and recycling or reuse.
20. The Proposed Project does not significantly degrade the environment. Appendix A includes the considerations that shall be used to determine whether there will be significant degradation of the environment. For purposes of this section, the term environment shall include:
 - Air quality,
 - Visual quality,
 - Surface water quality,
 - Groundwater quality,
 - Wetlands, flood plains, streambed meander limits, recharge areas, and riparian areas,
 - Terrestrial and aquatic animal life,

- Terrestrial and aquatic plant life, and
 - Soils and geologic conditions.
21. The Proposed Project does not cause a nuisance and, if a nuisance has been determined to be created by the Proposed Project, the nuisance has been mitigated to the satisfaction of the County.
 22. The Proposed Project does not significantly degrade areas of paleontological, historical, or archaeological importance.
 23. The Proposed Project does not result in unreasonable risk of releases of hazardous materials. In making this determination as to such risk, the Board's consideration shall include:
 - Plans for compliance with Federal and State handling, storage, disposal and transportation requirements,
 - Use of waste minimization techniques, and
 - Adequacy of spill prevention and counter measures, and emergency response plans.
 24. The benefits accruing to the County and its citizens from the proposed activity outweigh the losses of any resources within the County, or the losses of opportunities to develop such resources.
 25. The Proposed Project is the best alternative available based on consideration of need, existing technology, cost, impact and these Regulations.
 26. The Proposed Project shall not unduly degrade the quality or quantity of agricultural activities.
 27. The proposed Project does not negatively affect transportation in the area.
 28. All reasonable alternatives to the Proposed Project, including use of existing rights-of-way and joint use of rights-of-way wherever uses are compatible, have been adequately assessed and the Proposed Project is compatible with and represents the best interests of the people of the County and represents a fair and reasonable utilization of resources in the Impact Area.
 29. The nature and location of the Proposed Project or expansion will not unduly interfere with existing easements, rights-of-way, other utilities, canals, mineral claims or roads.
 30. Adequate electric, gas, telephone, water, sewage and other utilities exist or shall be developed to service the site.
 31. The proposed project will not have a significantly adverse Net Effect on the capacities or functioning of streams, lakes and reservoirs in the impact area, nor on the permeability, volume, recharge capability and depth of aquifers in the impact area.

32. The purpose and need for the Proposed Project are to meet the needs of an increasing population within the County, the area and community development plans and population trends demonstrate clearly a need for such development.
33. The Proposed Project is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area.

Recommended Conditions:

1. The applicant shall comply with all terms and conditions of the Development Agreement between Discovery DJ Services, LLC and Adams County.

PUBLIC COMMENTS

Notifications Sent	Comments Received
240	3

Property owners and residents within one-thousand hundred (1,000) feet of each of the three alignments were notified of the subject request. As of writing this report, staff has received three comments on the request. Two property owners expressed concerns with the preferred route crossing their property. The applicant has since revised the alignment which no longer crosses these properties. One property owner had concerns with a compressor station and its impact on adjacent residents. This compressor station is located approximately 1.5 miles north of E. 168th Avenue in Weld County.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

None

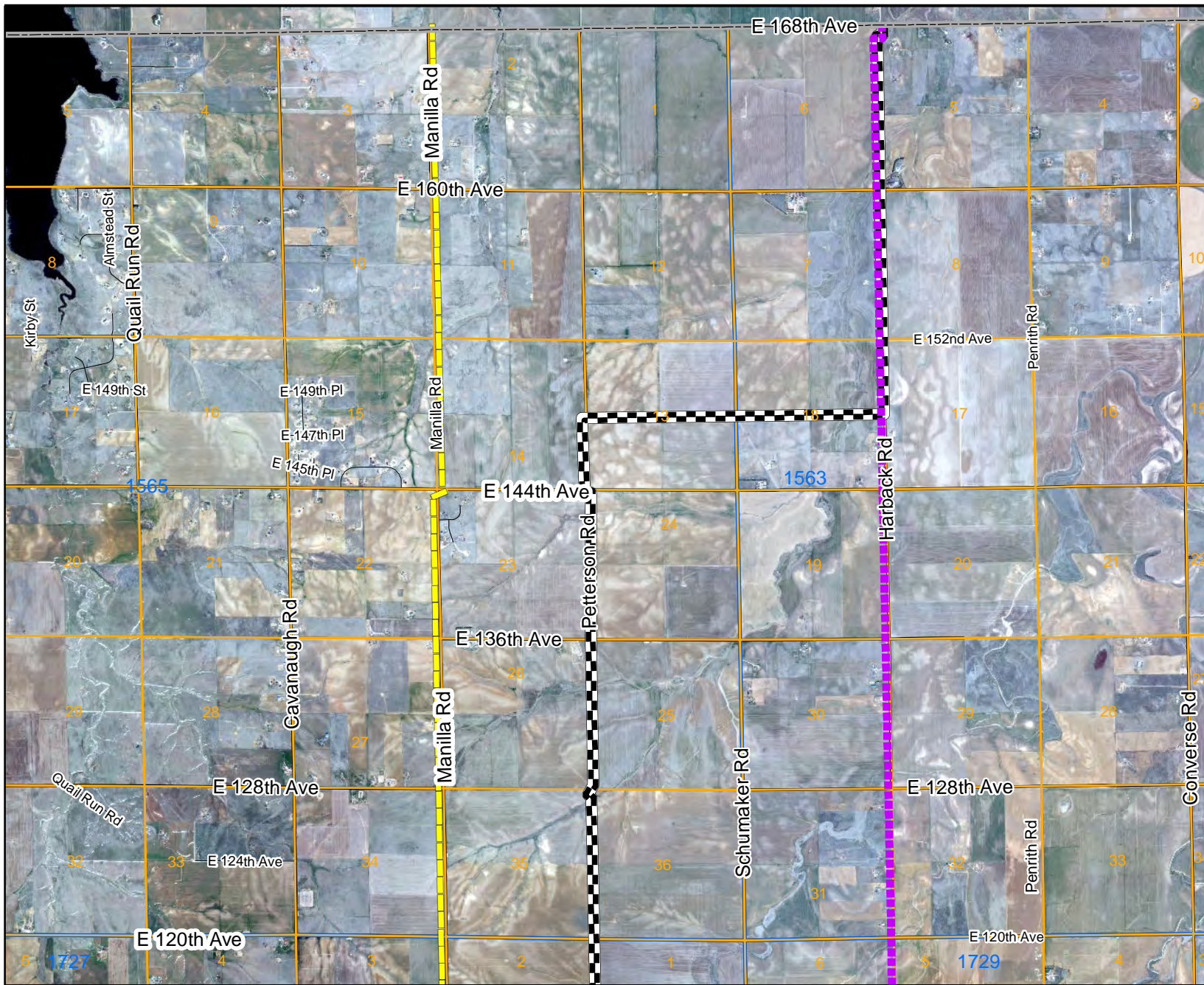
Responding without Concerns:

- Brighton Fire
- Colorado Department of Parks and Wildlife
- Colorado Department of Public Health and Environment
- Colorado Department of Transportation
- Tri-County Health Department
- Xcel Energy
- United Power

Notified but not Responding / Considered a Favorable Response:

- Brighton School District 27J
- Bromley Park Metropolitan District
- CDPHE-Air Quality

CDPHE-Water Quality
CDPHE-Solid Waste
Century Link
City of Brighton
Comcast
Farmers Reservoir & Irrigation
Metro Wastewater Reclamation
Regional Transportation Dist.



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

RCU2018-00013
Watkins Pipeline

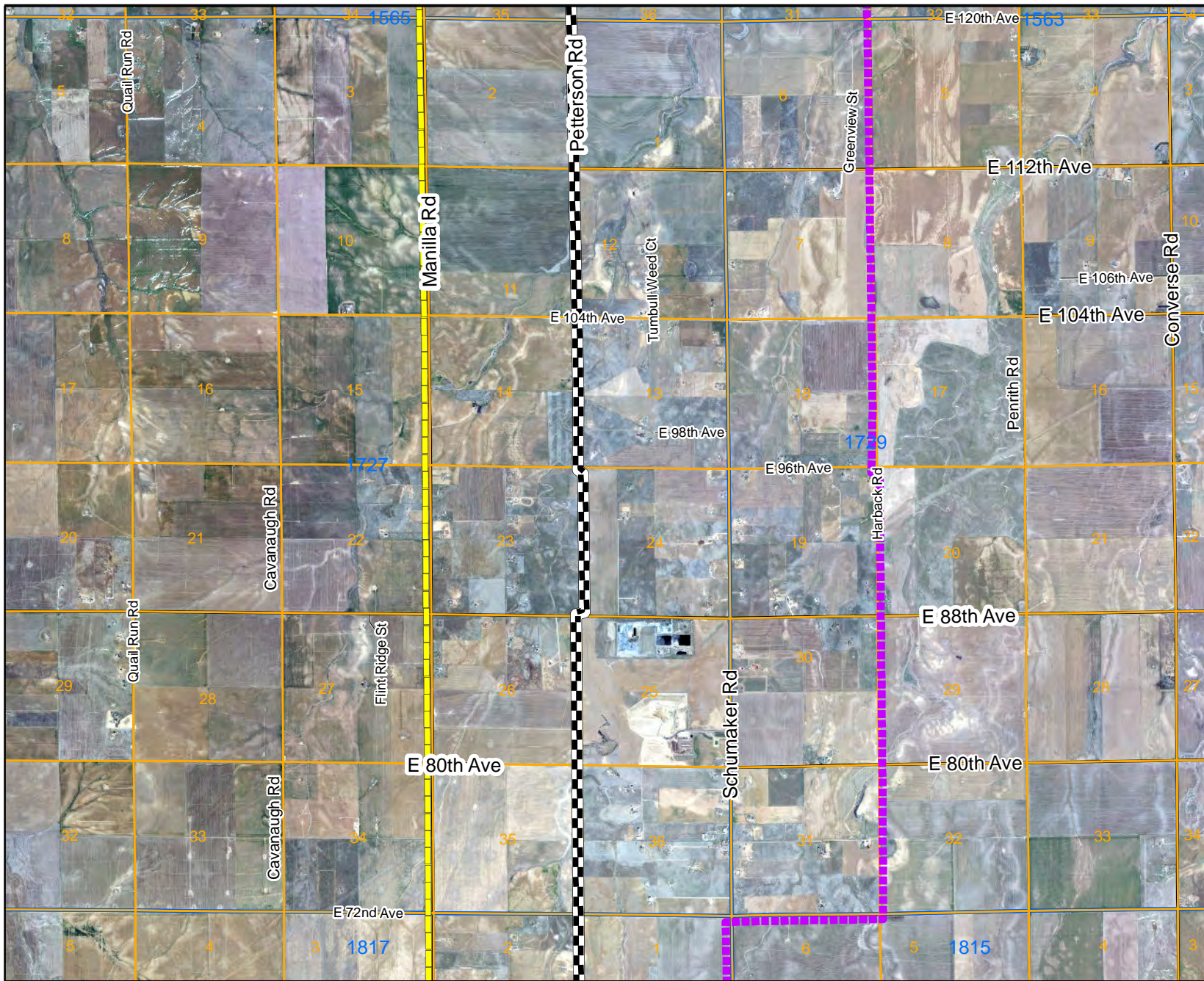
- Watkins Preferred Route
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For display purposes only.



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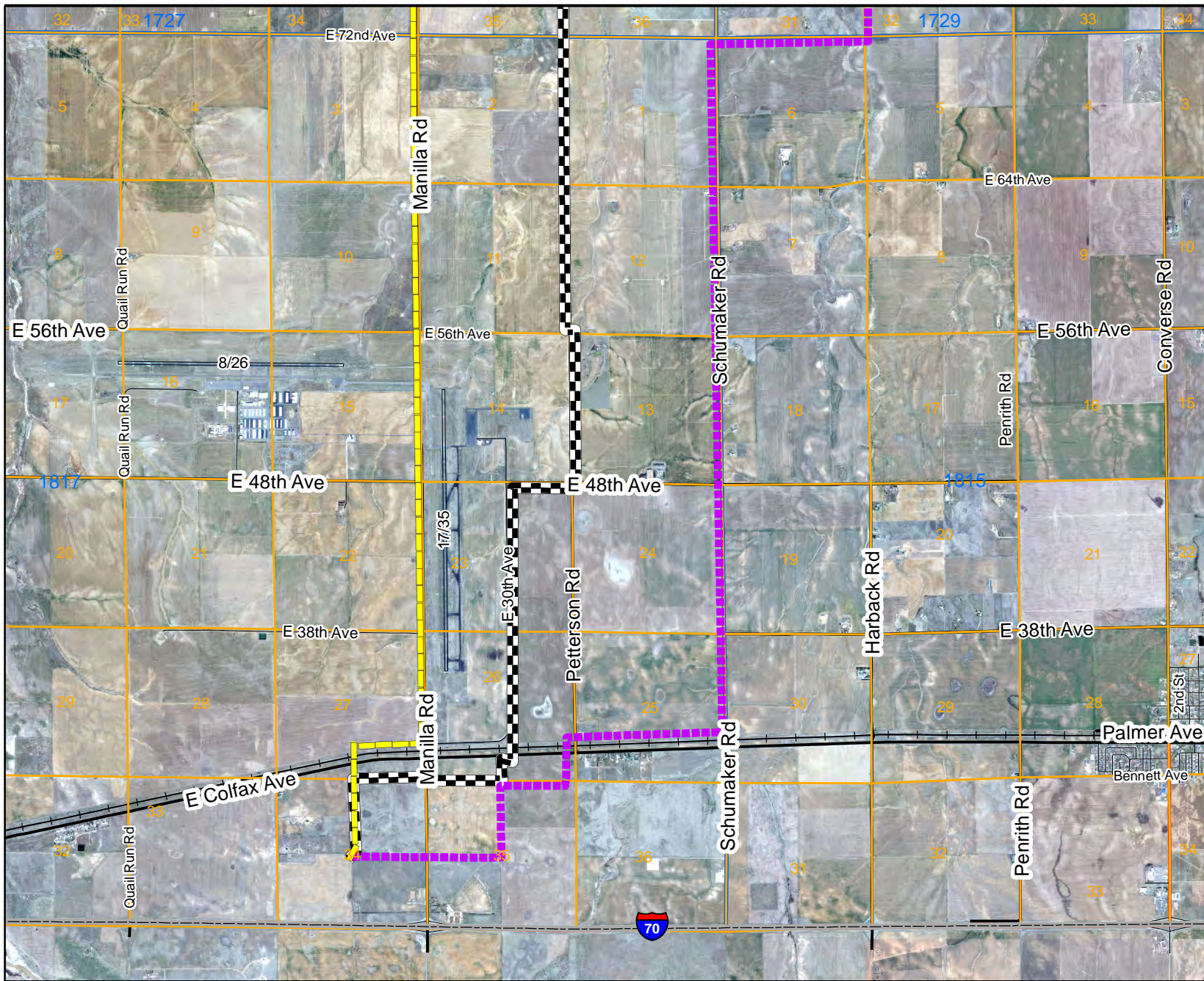
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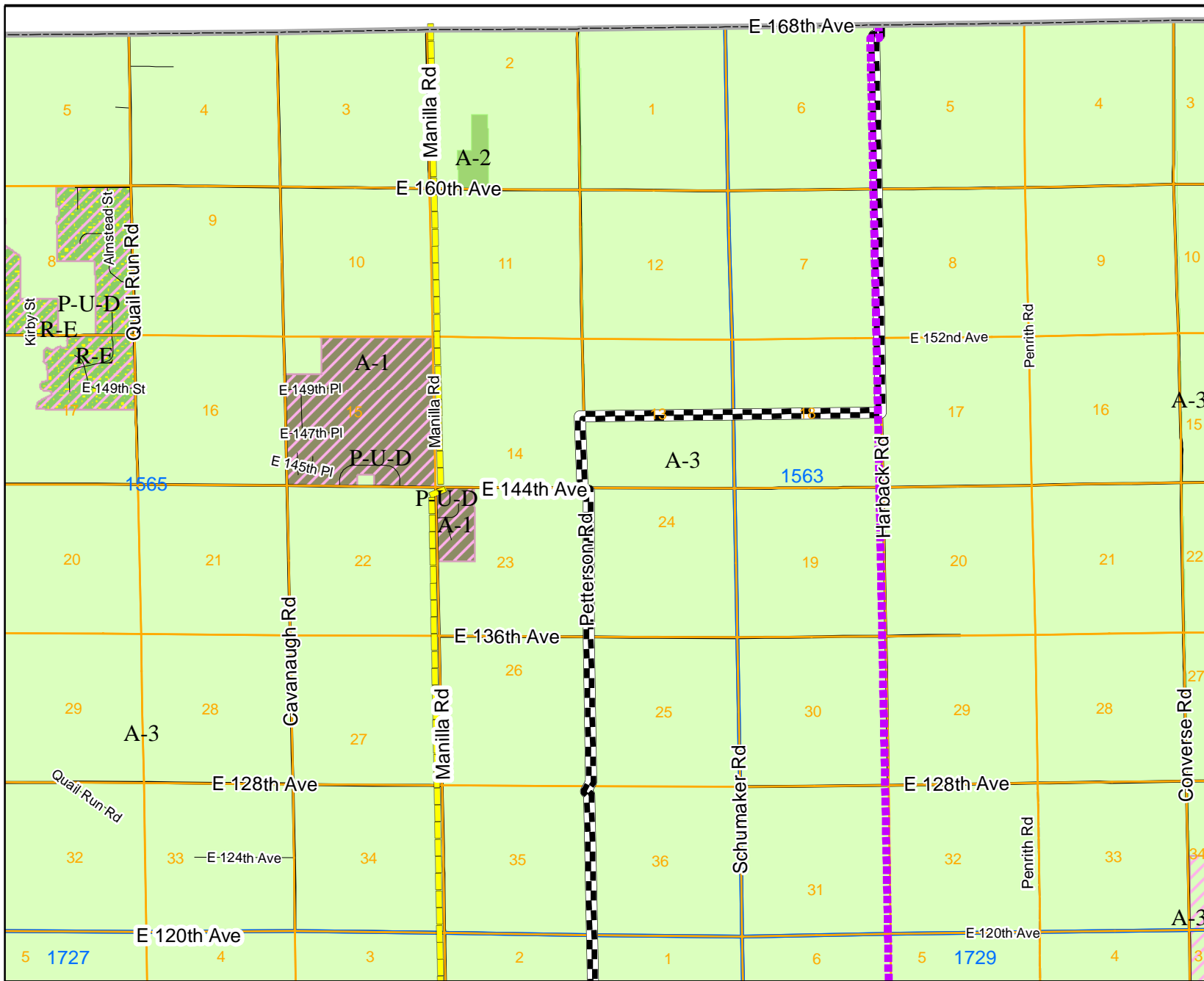
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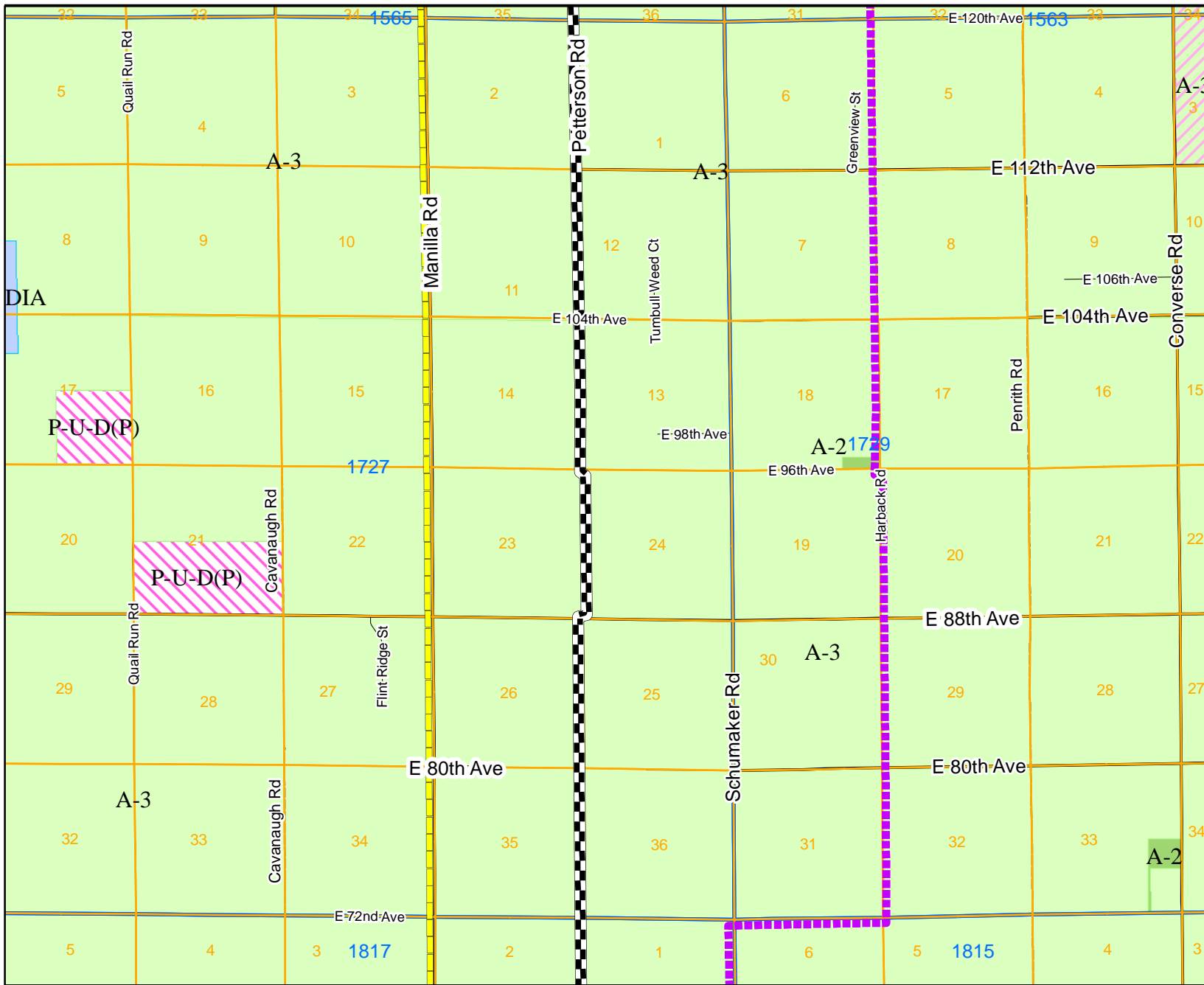
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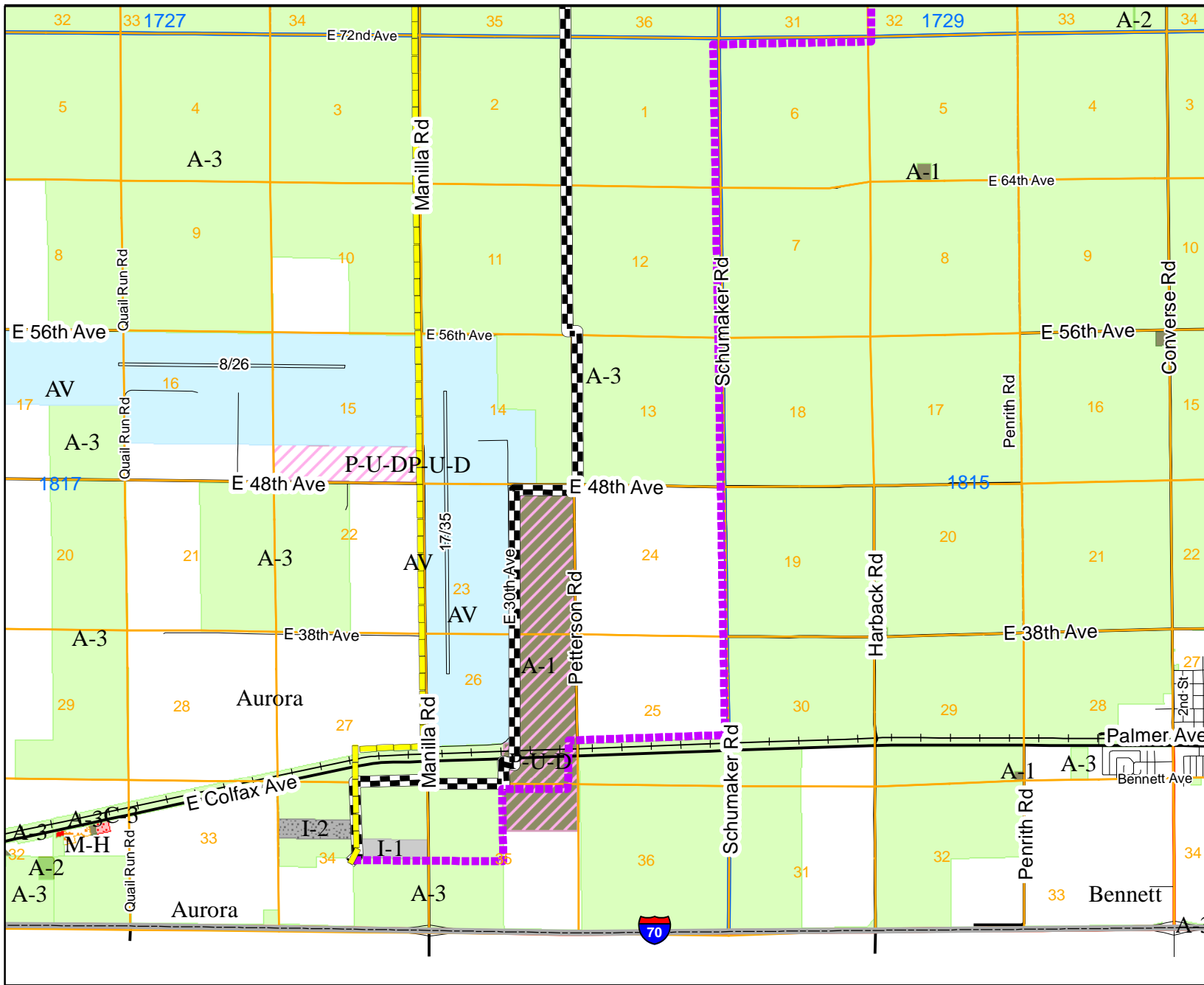
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RCU2018-00013

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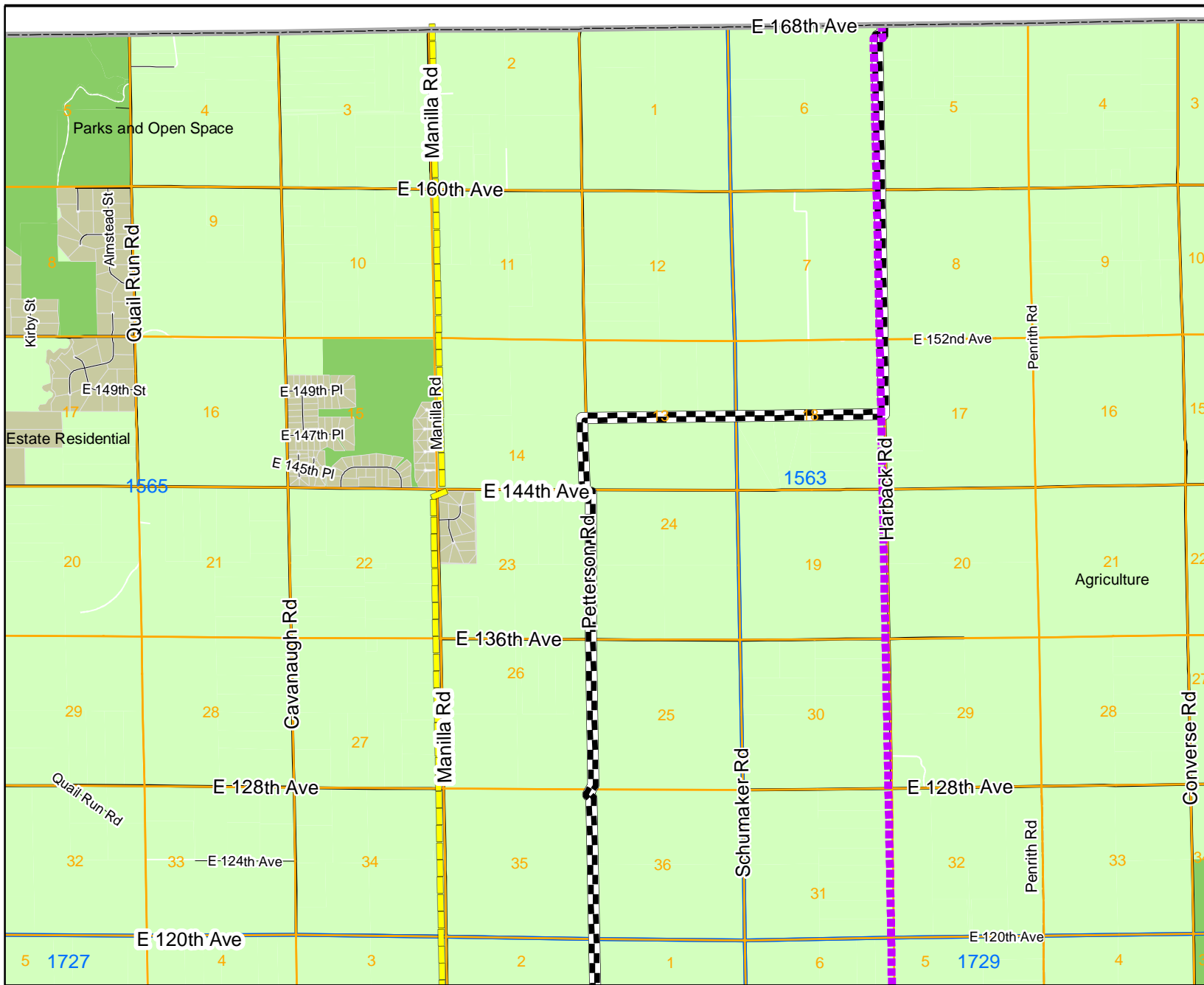
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- Future Landuse Revised 2016**
- Residential**
- Urban Residential
 - Estate Residential
- Mixed Use**
- Local District Mixed Use
 - Mixed Use Neighborhood
 - Activity Center
 - Mixed Use Employment
- Commercial/Industrial**
- Commercial
 - Industrial
- Other**
- Agriculture
 - DIA Reserve
 - Parks and Open Space
 - Public
 - Municipal Area

RCU2018-00013
Watkins Pipeline

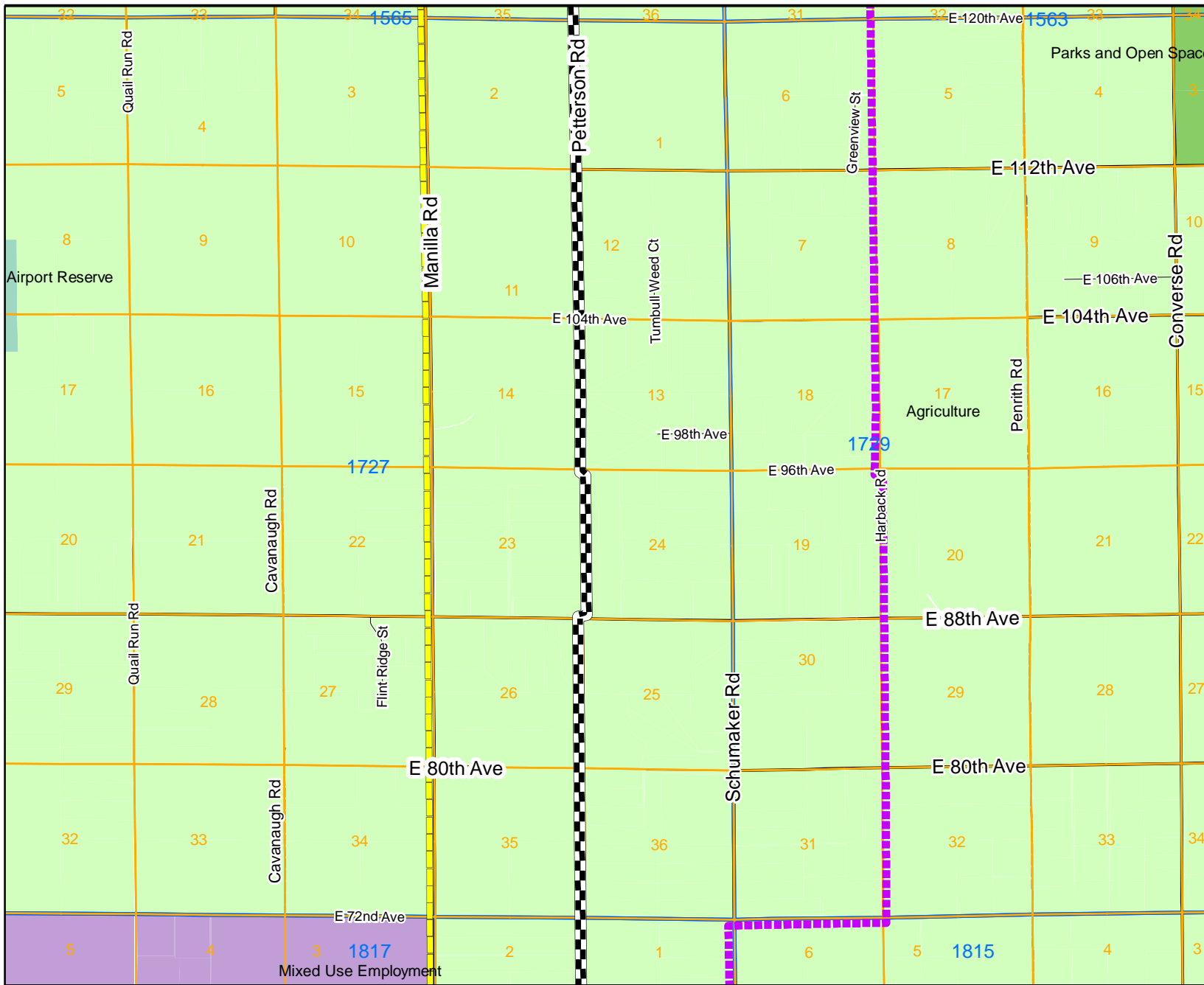
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- Activity Center
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Other

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- DIA Reserve
- Parks and Open Space
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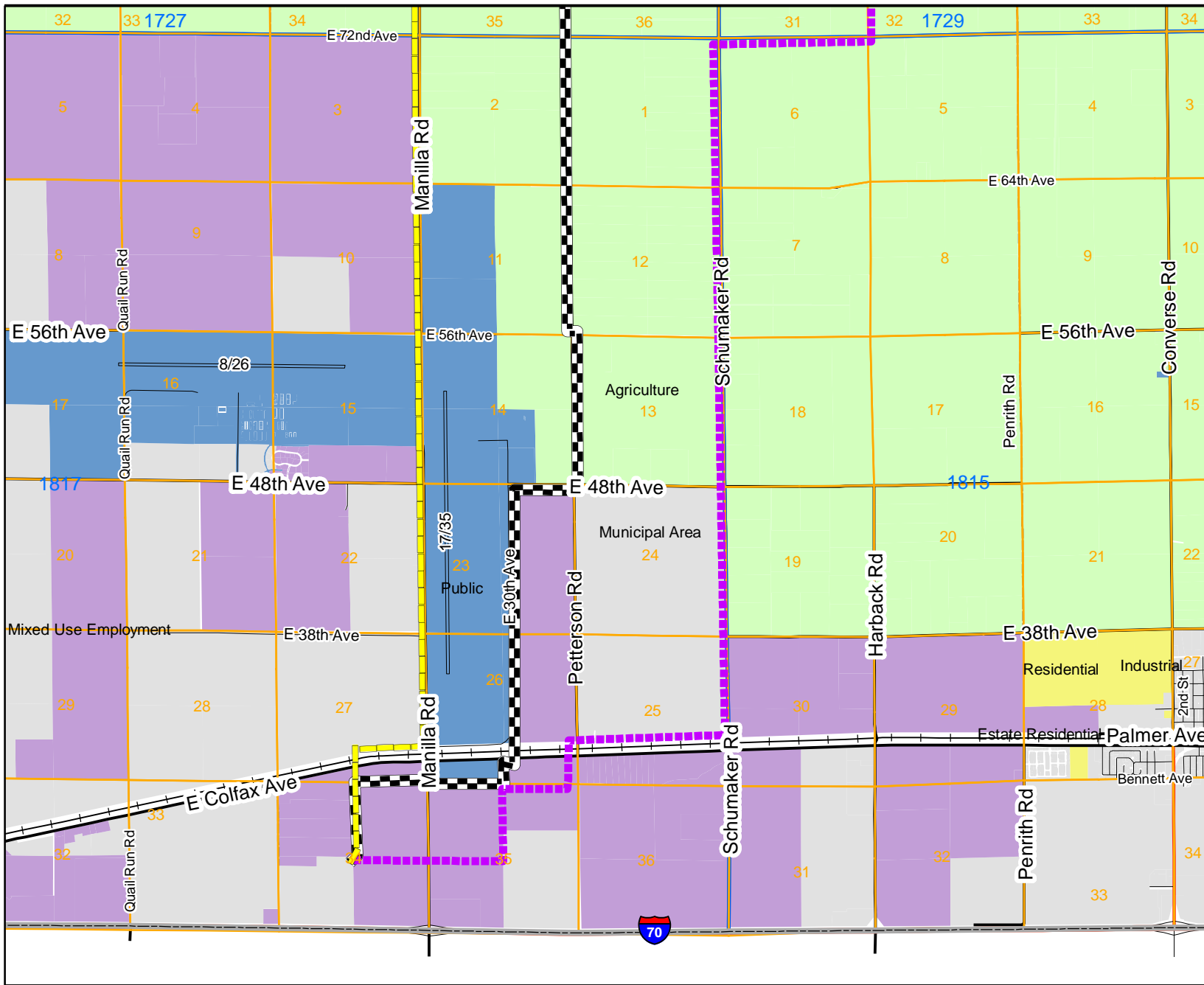
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- Watkins Alternative 1
- Watkins Alternative 2



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Future Landuse Revised 2016

Residential

- Urban Residential
- Estate Residential

Mixed Use

- Local District Mixed Use
- Mixed Use Neighborhood
- Activity Center
- Mixed Use Employment

Commercial/Industrial

- Commercial
- Industrial

Other

- Agriculture
- DIA Reserve
- Parks and Open Space
- Public
- Municipal Area

RCU2018-00013
Watkins Pipeline

- Watkins Preferred Route
- Watkins Alternative 1
- Watkins Alternative 2



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



3. WRITTEN EXPLANATION OF THE PROJECT

INTRODUCTION

Discovery DJ Services, LLC is submitting additional requested criteria for the Adams County Area and Activities of State Interest ("AASI" (1041)) Checklist, as outlined during the conceptual review process and subsequent Adams County Conceptual Review Meeting summary letter dated March 6, 2018.

PURPOSE & NEED

Advances in oil and gas extraction technologies have resulted in a substantial increase in oil and gas activities across Colorado. Crude oil produced liquids (condensate, produced water) from these wells impede the natural gas production and require transportation to oil and gas facilities for processing, treatment, and either disposal or sale to regional markets. Currently, these liquids are transported by truck from the individual well pads resulting in an increasing number of loads per day on the local city and county roads and state highways. Similarly, the existing natural gas infrastructure in and around these wells is at capacity or doesn't exist within areas of new drilling. Centralized collection of these liquids and more efficient means of transportation are required to reduce the local truck traffic and facilitate transportation of the natural gas and produced liquids to locations where they can be processed and sold to meet market demands. The project is necessary component of the overall system to gather, process, transport and market the area's natural resources.

EXPLANATION OF THE REQUEST

Pursuant to ACDSR Section 2-02-08-01, a conditional use is a land use which is "presumptively compatible with other land uses authorized or permitted in a zone district, but if approved...require more discretionary review than these uses which are authorized." Through consultation with the ACDP, Discovery has been advised that the proposed respective pipelines use is classified as Industrial Use and subject to the County Conditional Use Permit review and approval. Consequently, Discovery respectfully submits this Application for the Board of County Commissioners' review and approval pursuant to regulations, procedures, and criteria for approval under the ACDSR Section 2-02-08.

CONSTRUCTION SCHEDULE

Construction activities in Adams County will commence upon approval of the CUP and completion of all conditions of approval. A final schedule for construction of the project has not yet been developed, however it is anticipated that the pipeline construction within the County will take approximately 4-6 months.

PREFERRED ROUTE CONSIDERATIONS & REASONING

The preferred route was selected to mitigate the impacts to residential neighborhoods; conform with the comprehensive plans for Adams County and minimize impacts to the environment. The preferred route is located on lands within Adams County that are zoned as agricultural. Discovery worked with each respective landowner to develop the preferred alignment to mitigate impacts to activity cultivated fields and productive areas, along with landowners' consideration and preferences.

In addition to zoning and landowner considerations, numerous other factors were included in the decision process for the selection of the preferred route. Discovery has reviewed and considered the Adams County Comprehensive Plan as well as the Adams County Transportation Plan in selection of the preferred route, keeping the permanent right-of-way outside of County Roads.

DESCRIPTION OF PREFERRED PIPELINE ROUTE

The proposed Project preferred route are located on lands within Adams County zoned as agricultural. The Project will originate at a third-party facility in Section 35, Township 3 South, Range 64 West, approximately 3.45-miles east of the Town of Watkins, Colorado, the route will travel in a northeasterly direction through agricultural fields and rural residential areas.

Additionally, from the third-party facility in Section 35, Township 3 South, Range 64 West, approximately 3.45-miles east of the Town of Watkins, Colorado this proposed project will continue to the south ending at a third-party facility 4.38-miles into Arapahoe County in Section 22, Township 4 South, Range 64 West.

From the third-party facility, approximately 2,225-feet or .42-miles north of Interstate 70 in Section 35, Township 3 South, Range 64 West (Parcel Number: 181700000149), the Project will cross E. Colfax Avenue and Union Pacific Railroad. The pipeline will travel north for approximately 2,725-feet or .51-miles, turn east for approximately 5,305-feet or 1-mile and travel to the south of E. Colfax Avenue before turning north for approximately 890-feet or .16-miles, turn east for approximately 455-feet or .08-miles crossing E. Colfax Avenue, traveling north along Front Range Airport Perimeter Road for approximately 9,715.2-feet or 1.84-miles, turn east for approximately 2,355-feet or .44-miles along E. 48th Avenue, turn north for approximately 66,052.8-feet or 12.51-miles along Peterson Road, turn east for approximately 10,454.4-feet or 1.98-miles, turn north for approximately 13,728-feet or 2.60-miles along N. Harback Road, ending at a compressor station approximately 5,332.8-feet or 1.01-miles into Weld County or 13-miles east of the Town of Lochbuie, Colorado.

DESCRIPTION OF PROJECT ALTERNATIVES

Discovery has considered two alternative route alignments for this Project. Alternative Route #1 would be a slightly shorter route (less than 1-mile difference). This route would have a greater impact on the residents and natural environment. Alternative route #2 is shorter (2-mile difference) but would cause a greater impact on residents.

ALTERNATIVE ROUTE #1

The proposed Project would start at a third-party approximately 2,225-feet or .42-miles north of Interstate 70 in Section 35, Township 3 South, Range 64 West (Parcel Number: 181700000149) at a third-party facility, travels east for 5,332.8-feet or 1.01 miles, turns north for approximately 2,580-feet or .48-miles, turns east for approximately 2,360-feet or .44-miles, turns north for approximately 1,455-feet or .27-miles, turns east and travels along E. Colfax Avenue for approximately 5,530-feet or 1.04-miles, turns north for 24,552-feet or 4.65-miles along Schumaker Road, turns east for approximately 5,725-feet or 1.08-miles along E. 72nd Avenue, turning north along N. Harback Road for approximately 64,204-feet or 12.16-miles ending approximately 5,332-feet or 1.01-miles from E. 168th Avenue at a compressor station in Section 29, Township 1 North, Range 63 West (Parcel Number 147729300016) in Weld County.

ALTERNATIVE ROUTE #2

The proposed Project will start at a third-party facility approximately 2,225-feet or .42-miles north of Interstate 70 in Section 35, Township 3 South, Range 64 West (Parcel Number: 181700000149) at a third-party facility, will travel north approximately 3,690-feet or .69-miles, crossing E. Colfax Avenue, turning east for approximately 2,440-feet or .46-miles along E. Colfax Avenue, turning north for approximately 88,968-feet or 16.85-miles along Manila Road, turning east for approximately 10,243-feet or 1.94-miles, turning north for approximately 5,280-feet or 1-mile along CR 61, turning east for approximately 5,385.6-feet or 1.02-miles ending at a compressor station in Section 29, Township 1 North, Range 63 West (Parcel Number 147729300016) in Weld County.

ROAD CROSSINGS

A total of 22 road crossings have been identified.

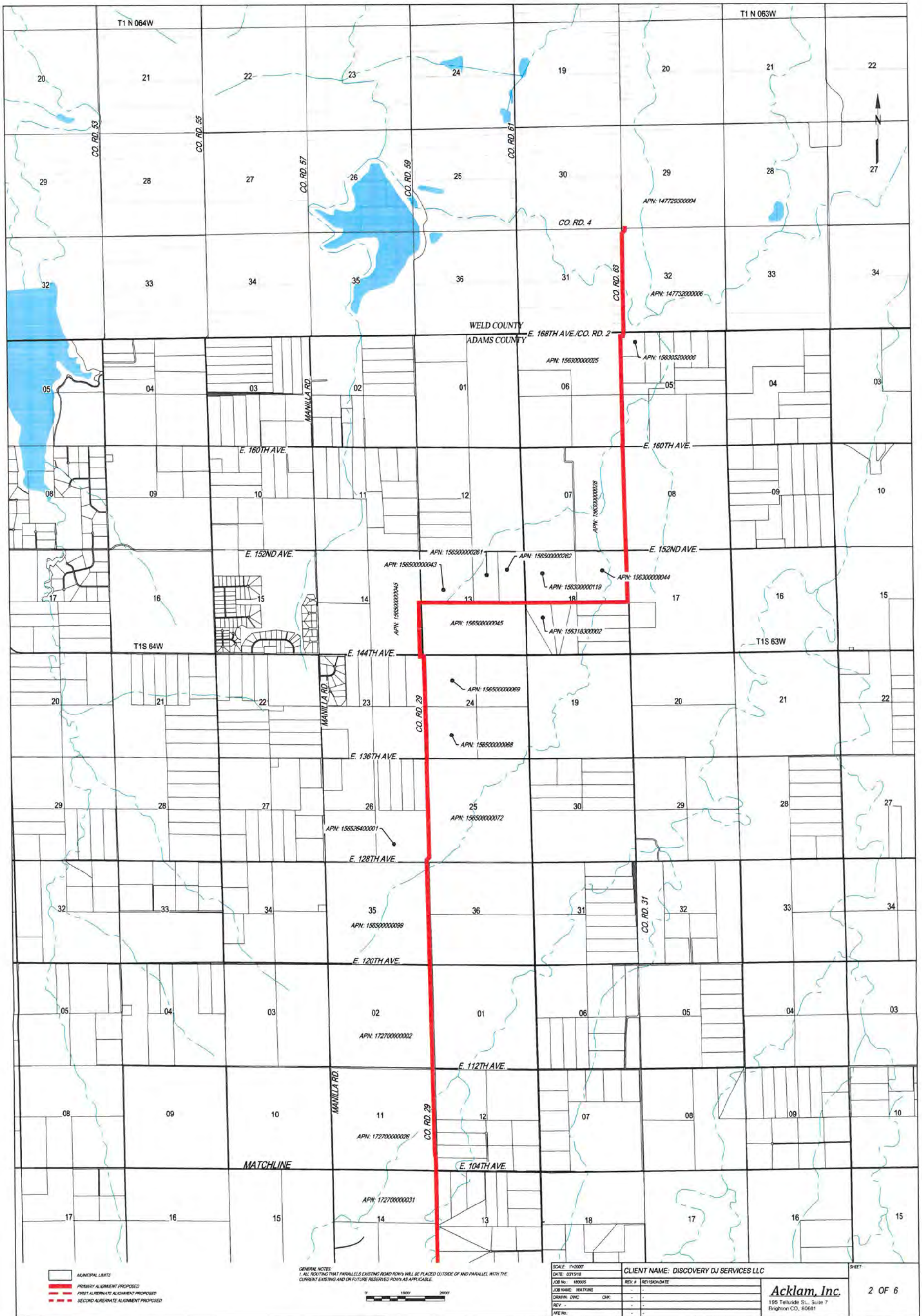
Below summarize the road crossings that are along the preferred route.

Watkins 20-inch Natural Gas Pipeline and up-to a Proposed 20-inch Oil Pipeline Project			
Road Crossing			
No.	Road Crossed	Nearest Intersection	Distance to Intersection (Approximate)
1	E. 168 th Ave	N. Schumaker Rd and E. 168 th Ave	5,340'
2	E. 160 th Ave	N. Harback Rd and E. 160 th Ave	125'
3	E. 152 nd Ave	N. Harback Rd and E. 152 nd Ave	125'
4	Peterson Rd	Peterson Rd and Peterson Rd	190'
5	E. 144 th Ave	Peterson Rd and E. 144 th Ave	210'
6	Peterson Rd	E. 144 th Ave and Peterson Rd	65'
7	E. 136 th Ave	Peterson Rd and E. 136 th Ave	130'
8	Peterson Rd	Peterson Rd and E. 136 th Ave	50'
9	E. 128 th Ave	Peterson Rd and E. 128 th Ave	160'
10	E. 120 th Ave	Peterson Rd and E. 120 th Ave	175'
11	E. 112 th Ave	Peterson Rd and E. 112 th Ave	160'
12	E. 104 th Ave	Peterson Rd and E. 104 th Ave	105'
13	E. 88 th Ave	Peterson Rd and E. 88 th Ave	160'
14	E. 80 th Ave	Peterson Rd and E. 80 th Ave	160'
15	E. 72 nd Ave	Peterson Rd and E. 72 nd Ave	135'



Watkins 20-inch Natural Gas Pipeline and up-to a Proposed 20-inch Oil Pipeline Project (Cont.) Road Crossing			
16	E. 64 th Ave	Peterson Rd and E. 64 th Ave	165'
17	Peterson Rd	E. 56 th Ave and Peterson Rd	230'
18	E. 56 th Ave	Peterson Rd and E. 56 th Ave	125'
19	E. 48 th Ave	Peterson Rd and E. 48 th Ave	115'
20	Peterson Rd	E. 48 th Ave and Peterson Rd	160'
21	E. Colfax Ave	Peterson Rd and E. Colfax Ave	2,195'
22	Manilla Rd	E. Colfax Ave and Manilla Rd	845'

Following completion of all design activities and the applicable construction contractor has been selected, Discovery will provide the ACDP a detailed schedule prior to starting construction.



GENERAL NOTES:
 1. ALL ROUTING THAT PARALLELS EXISTING ROAD ROWS WILL BE PLACED OUTSIDE OF AND PARALLEL WITH THE CURRENT EXISTING AND ON FUTURE RESERVED ROWS AS APPLICABLE.

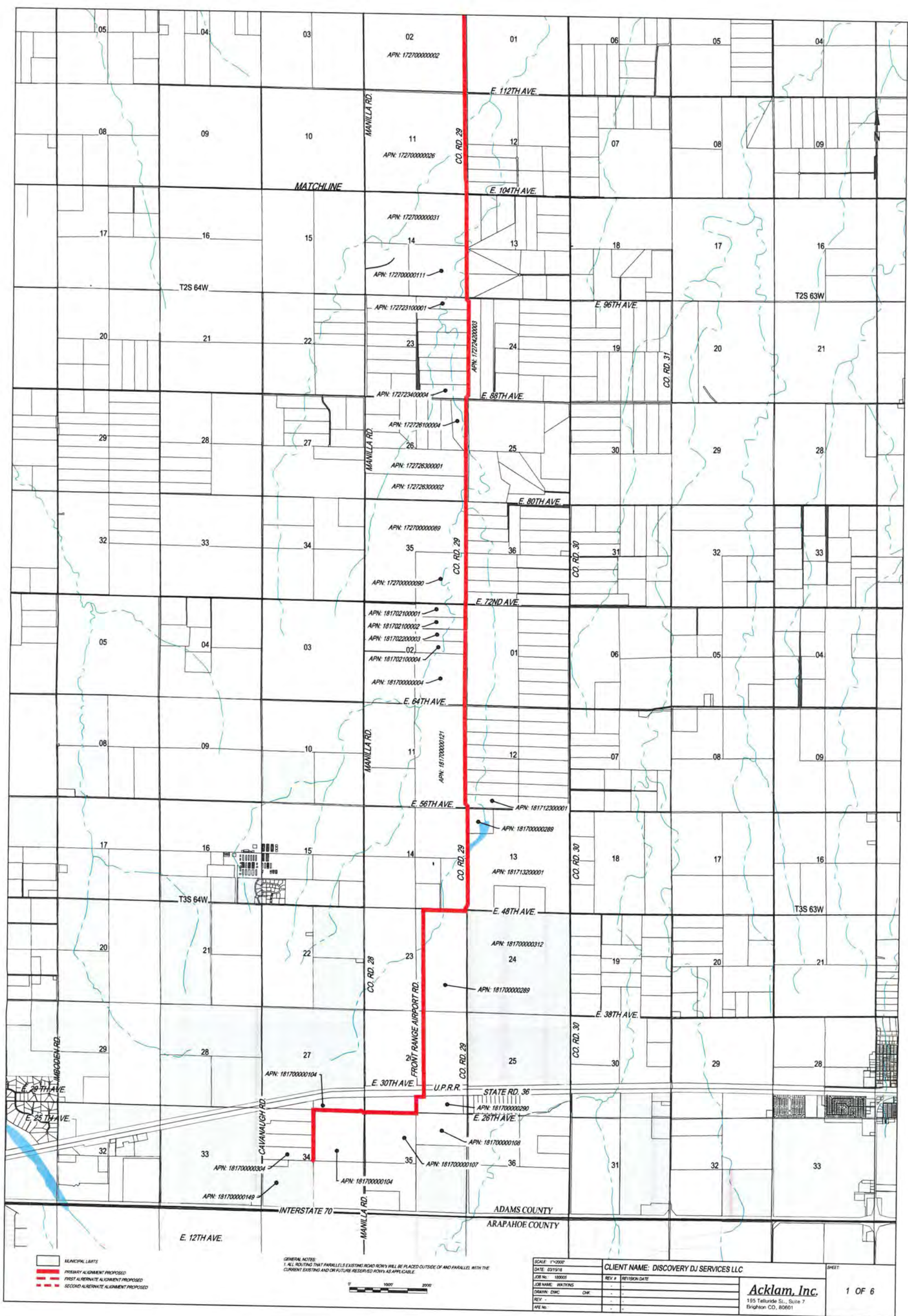


SCALE	1"=200'
DATE	03/15/18
JOB No.	88005
DRAWN	DWC
REV	-
DATE	-

CLIENT NAME: DISCOVERY DJ SERVICES LLC

REV #	REVISION DATE
-	-
-	-
-	-
-	-

Acklam, Inc.
 195 Telluride St., Suite 7
 Brighton CO, 80601



[Red Line] MUNICIPAL LIMITS
 [Red Line] PRIMARY ALIGNMENT PROPOSED
 [Red Line] FIRST ALTERNATE ALIGNMENT PROPOSED
 [Red Line] SECOND ALTERNATE ALIGNMENT PROPOSED

GENERAL NOTES:
 1. ALL RIGHT-OF-WAY PARALLELS EXISTING ROAD ROWS WILL BE PLACED OUTSIDE OF AND PARALLEL WITH THE CURRENT EXISTING AND OR FUTURE RESERVED ROWS AS APPLICABLE.



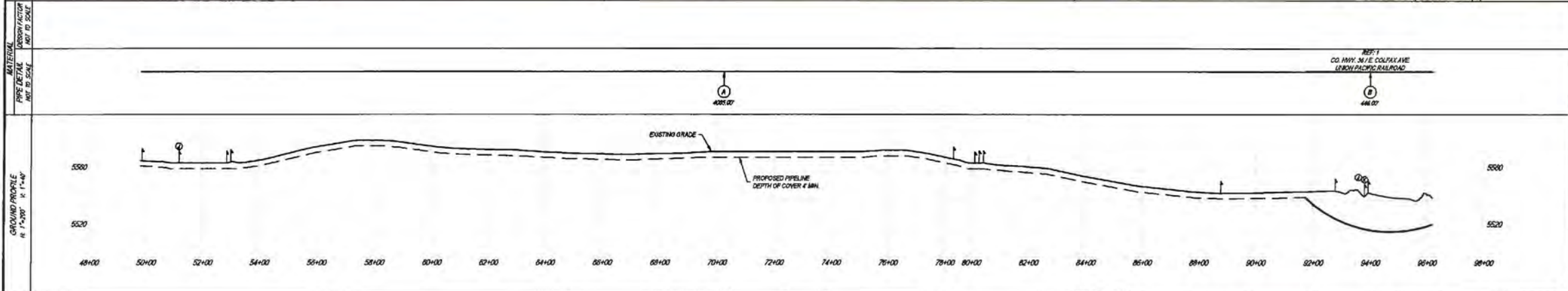
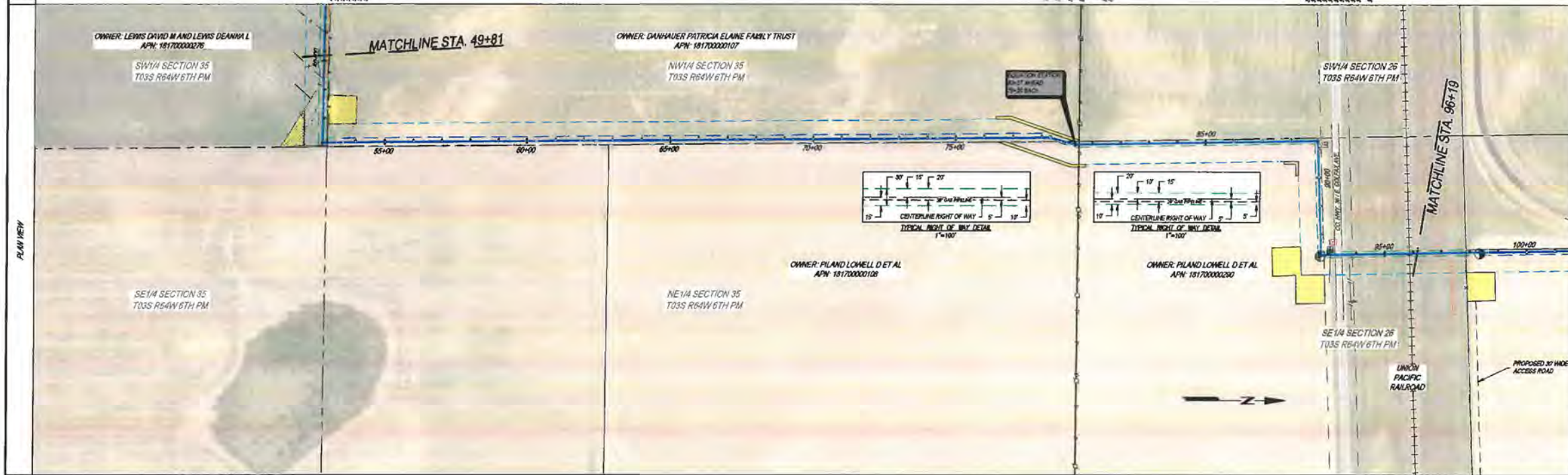
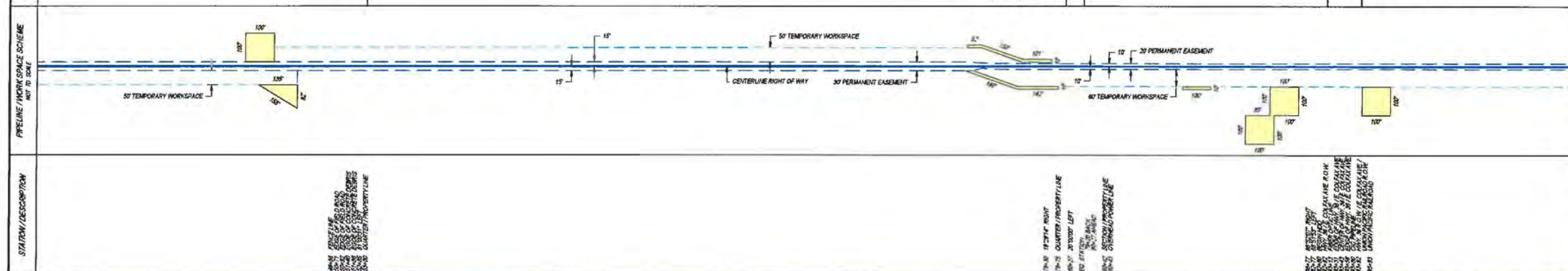
SCALE: 1"=200'
 DATE: 03/15/18
 JOB NO: 180005
 JOB NAME: WATKINS
 DRAWN: DWG
 REV: -
 AFE No: -

CLIENT NAME: DISCOVERY DJ SERVICES LLC

Acklam, Inc.
 195 Telluride St., Suite 7
 Brighton CO, 80601

SHEET
 1 OF 6

OWNER/CONTACT	OWNER: LEWIS DAVID M AND LEWIS DEANNA L APN: 18170000276	OWNER: DANHAUER PATRICIA ELAINE FAMILY TRUST APN: 18170000107	OWNER: PILAND LOWELL D ETAL APN: 18170000280	UNION PACIFIC RAILROAD CO. HWY. 36/E COLFAX AVE.
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BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20,000'	20,000' O.D. PIPE (1.3157), SMS/ENR, CS AP 5L PS2 X-85, 12-14 MIL PER COVER	4085'
B	20,000'	20,000' O.D. PIPE (1.5007), SMS/ENR, CS AP 5L PS2, X-85, 12-14 MIL PER COVER	448'
C	20,000'	ELBOW 90 DEG. 3/4\"/>	

- FIELD NOTES**
- CONSTRUCTION**
1. PIPING SHALL BE PER API 1104 STANDARDS LATEST EDITION
 2. CODES THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
 3. TEST STATIONS WILL BE INSTALLED EVERY 500' UNLESS OTHERWISE SPECIFIED.
 4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION.
 5. TO ACHIEVE ADEQUATE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BOND PIPE AS NECESSARY.
 6. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
 7. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
 8. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 45" UNLESS OTHERWISE NOTED.
 9. 8 HOUR HYDROTEST PERFORMED AT 2180 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
 10. FIELD JOINT TESTING SP=2000 PER SEC. B.R. DISCOVERY CONSTRUCTION SPECIFICATIONS.
 11. DESIGN TEMPERATURE: 100°F
 12. DESIGN PRESSURE: 1440 psig
 13. DESIGN TEMPERATURE: 100°F
 14. MAP @ 2005/05: 045-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 26 & 35 TOLIS, 864W 8TH PM

PROJECTION: COLORADO STATE PLANE, NAD83
NORTH ZONE, US FOOT (GRID)

LEGEND

	PERMANENT R.O.W.		TEMPORARY WORKSPACE
	EXISTING PIPELINE		PROPOSED PIPELINE ALIGNMENT
	APPROX. EASEMENT CONTROL DEVICE		OVERHEAD POWER LINE
	SEWER LINE		SECONDARY SEWER LINE
	RAILROAD		TELEPHONE LINE
	FIBER OPTIC LINE		UNDERGROUND ELECTRIC
	SECTION LINE		QUARTER LINE
	SIXTEENTH LINE		PROPERTY LINE
	FENCE		DITCH
	RIGHT OF WAY		EDGE OF ROAD
	EDGE OF GRAVEL		EDGE OF CONCRETE
	EDGE OF ASPHALT		ADDITIONAL TEMPORARY WORKSPACE

SYMBOLS

	PIPELINE MARKER		POWER POLE
	TEST STATION		TRANSMISSION TOWER
	DRILL ENTRY/EXIT		LIGHT POLE
	POINT OF INTERSECTION		GUY WIRE
	TEST STATION/CP		WATER VALVE
	TELEPHONE/FIBER OPTIC/CABLE PEDESTAL		IRRIGATION VALVE
	MAIL BOX		SIGN
	GAS METER		CATTLE GUARD
	WELL		LIGHT POLE
	MONITORING WELL		CULVERT
	WELL		SAWTOOTH SEWER MANHOLE
	MARKER		TREE
	CLEAN OUT		

NOTES

1. LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM MOBILE SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE NOT BE FIELD LOCATED BY OTHERS PRIOR TO CONSTRUCTION.
2. DIMENSIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE AGS, AND PROJECTED TO TOLLROAD COORDINATE SYSTEM OF 1983 NORTH CENTRAL ZONE, 86-08-125 & 1000. DIMENSIONS SHOWN HEREON ARE IN US SURVEY FEET UNITS. THE COMBINED FACTOR USED TO DERIVE THE GRID DIMENSIONS IS 0.999722885.
3. THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS				DRAWING REVISIONS			
ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION	BY	CHK	APPD
1	180	CO. HWY. 36/COLFAX/UPRR	A	UPDATE ROUTE	RWC	DWC	07/22/18

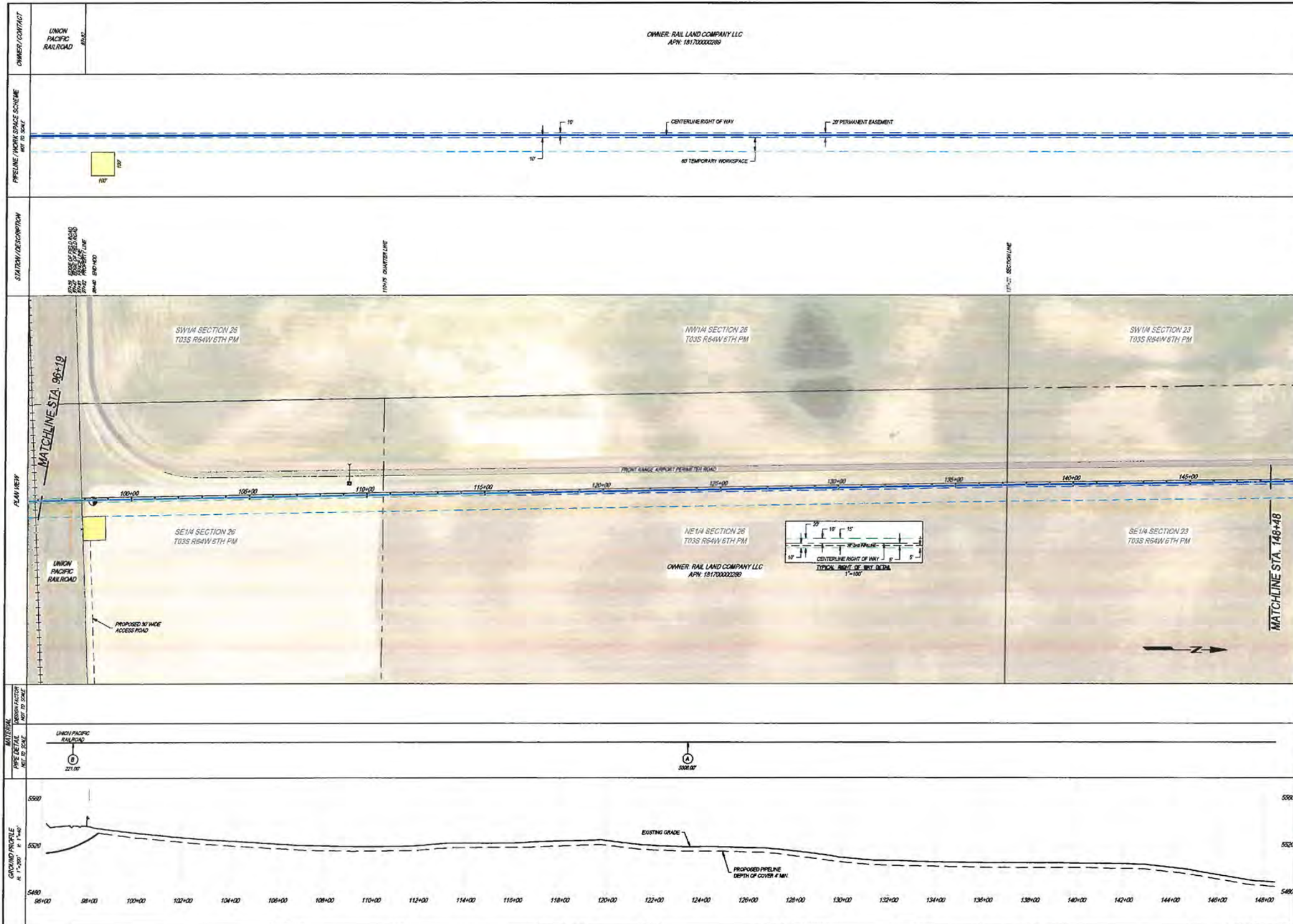
DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH010-DJ3
STA. 48+84 TO STA. 96+19

PROPOSED 20" GAS PIPELINE

SHEET: 3 OF 26
WTD-003



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (1.315" THICKNESS), SMLS/ERW, CS W/ SL. POLY. X-45, BME, 12-14 MILS. FREE COATED	5000'
B	20.000"	20.000" O.D. PIPE (1.315" THICKNESS), SMLS/ERW, CS W/ SL. POLY. X-45, BME, 12-14 MILS. FREE COATED	221'
C	20.000"	ELBOW, 90 DEG, 3/4" SEAMLESS BEND, STD WALL, CS, MSS-SP-75, OR Y-52, W/ SL. POLY. ERW, OR X-52	0
D	20.000"	ELBOW, 45 DEG, 3/4" SEAMLESS BEND, STD WALL, CS, MSS-SP-75, OR Y-52, W/ SL. POLY. ERW, OR X-52	0
E	20.000"	ELBOW, 30 DEG, 3/4" SEAMLESS BEND, STD WALL, CS, MSS-SP-75, OR Y-52, W/ SL. POLY. ERW, OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3/4" SEAMLESS BEND, STD WALL, CS, MSS-SP-75, OR Y-52, W/ SL. POLY. ERW, OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3/4" SEAMLESS BEND, STD WALL, CS, MSS-SP-75, OR Y-52, W/ SL. POLY. ERW, OR X-52	0
H	20.000"	ELBOW, 7.5 DEG, 3/4" SEAMLESS BEND, STD WALL, CS, MSS-SP-75, OR Y-52, W/ SL. POLY. ERW, OR X-52	0
J		TYPE I TEST STATION W/ MANHOLE	0
K		TYPE II TEST STATION W/ MANHOLE	0
L		ZINC RIBBON	0

- FIELD NOTES**
- CONSTRUCTION:**
1. CONFORM TO PER API 1104 STANDARDS LATEST EDITION.
 2. CODES: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
 3. TEST STATIONS WILL BE INSTALLED EVERY 5000' UNLESS OTHERWISE SPECIFIED.
 4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION TO ACHIEVE ABOVE CIRCULAR SUPPORT ELEVATIONS. CONTRACTOR TO FIELD BOND PIPE AS NECESSARY.
 5. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
 6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
 7. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
 8. 8 HOUR HYDROTEST PERFORMED AT 2180 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
 9. FIELD JOINT COATING: SP-2888 PER SEC. B.B. DISCOVERY CONSTRUCTION SPECIFICATIONS.
 10. DESIGN PRESSURE: 1440 psig
 11. DESIGN TEMP: 100°F
 12. MOP @ 200PSIG: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 23 & 26 T03S, R64W 6TH P.M.

PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (GSD)

- LEGEND**
- PERMANENT R.O.W.
 - TEMPORARY WORKSPACE
 - EXISTING PIPELINE
 - PROPOSED PIPELINE ALIGNMENT
 - APPROX. EROSION CONTROL DEVICE
 - OVERHEAD POWER LINE
 - SAWNEY SEMER LINE
 - PAVEMENT
 - TELEPHONE LINE
 - FIBER OPTIC LINE
 - UNDERGROUND ELECTRIC
 - SECTION LINE
 - QUARTER LINE
 - SIXTEENTH LINE
 - PROPERTY LINE
 - FENCE
 - DITCH
 - RIGHT OF WAY
 - EDGE OF TRAIL
 - EDGE OF ROAD
 - EDGE OF DRAIN
 - CONCRETE
 - EDGE OF ASPHALT
- ADDITIONAL TEMPORARY WORKSPACE**
- PIPELINE MARKER
 - TEST STATION
 - DRILL ENTRY/EXIT
 - TEST STATION/OP
 - TEST STATION
 - TELEPHONE/FIBER OPTIC/ CABLE PRESTAL
 - MANHOLE
 - GAS METER
 - WELL
 - MONITORING WELL
 - BOLLARD
 - POWER POLE
 - TRANSMISSION TOWER
 - LIGHT POLE
 - GYI WIRE
 - WATER VALVE
 - IRRIGATION VALVE
 - SIGN
 - CATTLE GUARD
 - LIGHT POLE
 - CULVERT
 - SAWNEY SEMER MARKER
 - TREE
 - CLEAN OUT

NOTES

1. LOCATIONS OF UTILITIES AND FOREMAN POINTS WERE DETERMINED FROM VISUAL SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY STAKE FROM TO LOCATIONS.
2. MARKINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE NAD83 AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE. (EAS: 20-23-103 & 104). DISTANCES SHOWN HEREON ARE IN US SURVEY FEET (SFM). THE CORNER FACTOR USED TO OBTAIN THE SPM DISTANCES IS 0.999725885.
3. THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS PROVIDED TO REPRESENT TYPICAL CLEARANCES FOR PLANNING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS				DRAWING REVISIONS			
ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION	BY	CHK	APPROV
			A	UPDATE ROUTE	RMC	DWC	07/02/18

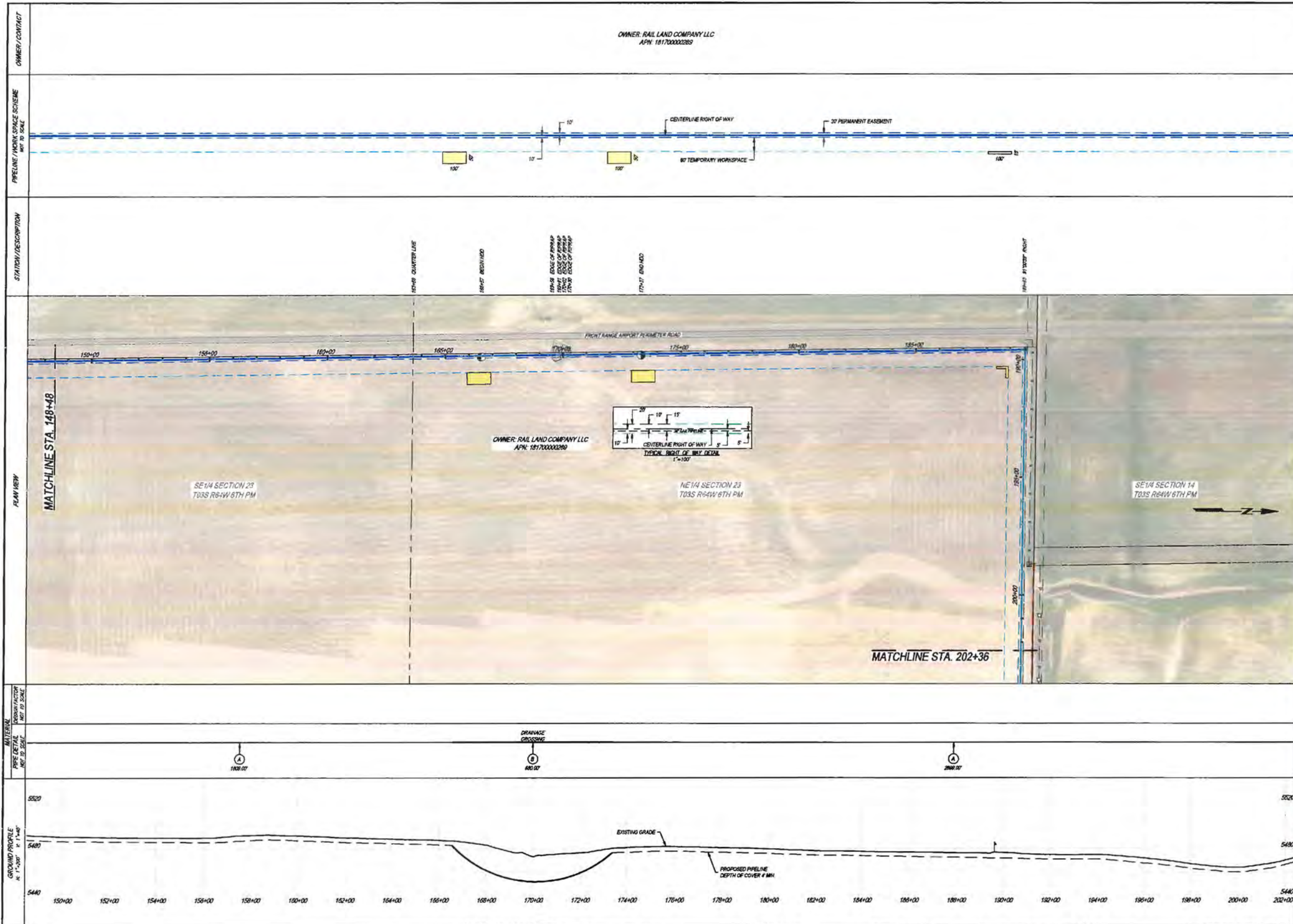
DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH010-DJ3
STA. 96+19 TO STA. 146+48

PROPOSED 20" GAS PIPELINE

SHEET: 4 OF 26
WFO-004



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.175" SMLS/ERR; CS APP. 5L, PS22, X-45, BEE, 12-14 MILS FIRE COATED)	4708'
B	20.000"	20.000" O.D. PIPE (0.500" SMLS/ERR; CS APP. 5L, PS22, X-45, BEE, AND COATED)	880'
C	20.000"	ELBOW, 90 DEG, 3R, SEIGNONABLE BEND, STD WALL, CS, MSS-SP-75, GR 1-52, APP. 5L, PS22, ERW, OR X-52	1
D	20.000"	ELBOW, 45 DEG, 3R, SEIGNONABLE BEND, STD WALL, CS, MSS-SP-75, GR 1-52, APP. 5L, PS22, ERW, OR X-52	0
E	20.000"	ELBOW, 30 DEG, 3R, SEIGNONABLE BEND, STD WALL, CS, MSS-SP-75, GR 1-52, APP. 5L, PS22, ERW, OR X-52	0
F	20.000"	ELBOW, 15.0 DEG, 3R, SEIGNONABLE BEND, STD WALL, CS, MSS-SP-75, GR 1-52, APP. 5L, PS22, ERW, OR X-52	0
G	20.000"	ELBOW, 7.5 DEG, 3R, SEIGNONABLE BEND, STD WALL, CS, MSS-SP-75, GR 1-52, APP. 5L, PS22, ERW, OR X-52	0
H	20.000"	ELBOW, 12.5 DEG, 3R, SEIGNONABLE BEND, STD WALL, CS, MSS-SP-75, GR 1-52, APP. 5L, PS22, ERW, OR X-52	0
J		TYPE I TEST STATION W/ MARKER	0
K		TYPE II TEST STATION W/ MARKER	0
L		ZINC ANODE	0

FIELD NOTES

CONSTRUCTION:

1. INSURANCE: PER API 1104 STANDARDS LATEST EDITION.
2. CODES: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF RIGHT-OF-WAY.
5. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION.
6. TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
7. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
8. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
9. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
10. 8 HOUR HYDROTEST PERFORMED AT 2160 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
11. FIELD JOINT COATING: SP-2000 PER SEC. 8.9, DISCOVERY CONSTRUCTION SPECIFICATIONS.
12. DESIGN PRESSURE: 1440 psig.
13. DESIGN TEMP: 100°F.
14. WAP @ 200PSIG: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=300'

LOCATION: SECTION 23 T03S R64W 6TH PM

PROJECTION: COLORADO STATE PLANE, NAD83
NORTH ZONE, US FOOT (GSD)

LEGEND

—	PERMANENT R.O.W.	⊠	POWER POLE	
- - -	TEMPORARY WORKSPACE	⊠	TRANSMISSION TOWER	
—	EXISTING PIPELINE	⊠	LIGHT POLE	
- - -	PROPOSED PIPELINE ALIGNMENT	⊠	GUY WIRE	
~ ~ ~	APPROX. EROSION CONTROL DEVICE	⊠	WATER VALVE	
— P —	OVERHEAD POWER LINE	⊠	IRRIGATION VALVE	
— SS —	SEWERY SEWER LINE	⊠	⊠	⊠
— T —	TELEPHONE LINE	⊠	⊠	⊠
— FD —	FIBER OPTIC LINE	⊠	⊠	⊠
— E —	UNDERGROUND ELECTRIC	⊠	⊠	⊠
—	SECTION LINE	⊠	⊠	⊠
—	QUARTER LINE	⊠	⊠	⊠
—	SIXTEENTH LINE	⊠	⊠	⊠
—	PROPERTY LINE	⊠	⊠	⊠
— X —	FENCE	⊠	⊠	⊠
—	DITCH	⊠	⊠	⊠
—	RIGHT OF WAY	⊠	⊠	⊠
—	EDGE OF TRAIL	⊠	⊠	⊠
—	EDGE OF ROAD	⊠	⊠	⊠
—	EDGE OF GRAVEL	⊠	⊠	⊠
—	CONCRETE	⊠	⊠	⊠
—	EDGE OF ASPHALT	⊠	⊠	⊠
⊠	ADDITIONAL TEMPORARY WORKSPACE	⊠	⊠	⊠

NOTES

- 1.1 LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISIBLE SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY OWNER PRIOR TO CONSTRUCTION.
- 2.1 ELEVATIONS SHOWN HEREIN ARE BASED ON GDS DETERMINATIONS AND/OR THE ONLINE POSINGRAPHIC USER SERVICE OFFERED BY THE U.S. AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE. (SCALE 20-30-100 & 1000 DETAIL) SHOWN HEREIN ARE IN US SURVEY FEET UNITS. THE COMBINED FACTOR USED TO DERIVE THE SPHERICAL EXCESS IS 0.1117.
- 2.2 THE PROPOSED PIPELINE AND EXISTING UTILITY, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS				SCALE: 1"=300'	
ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION	BY	CHK	DATE
			A	UPDATE ROUTE	RWC	DWC	07/02/18

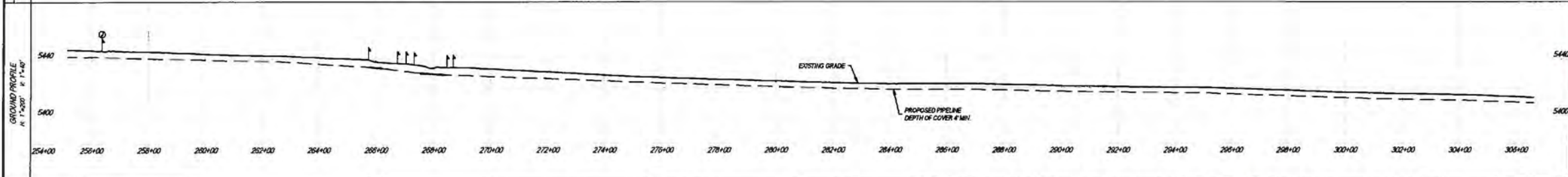
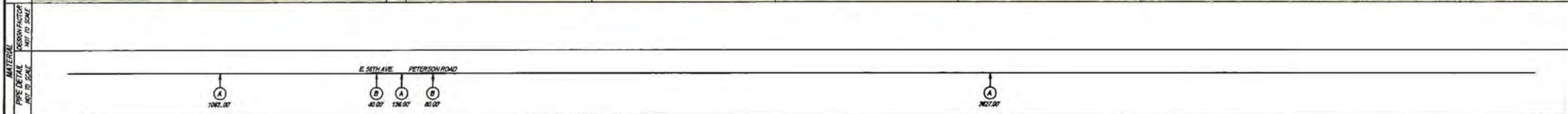
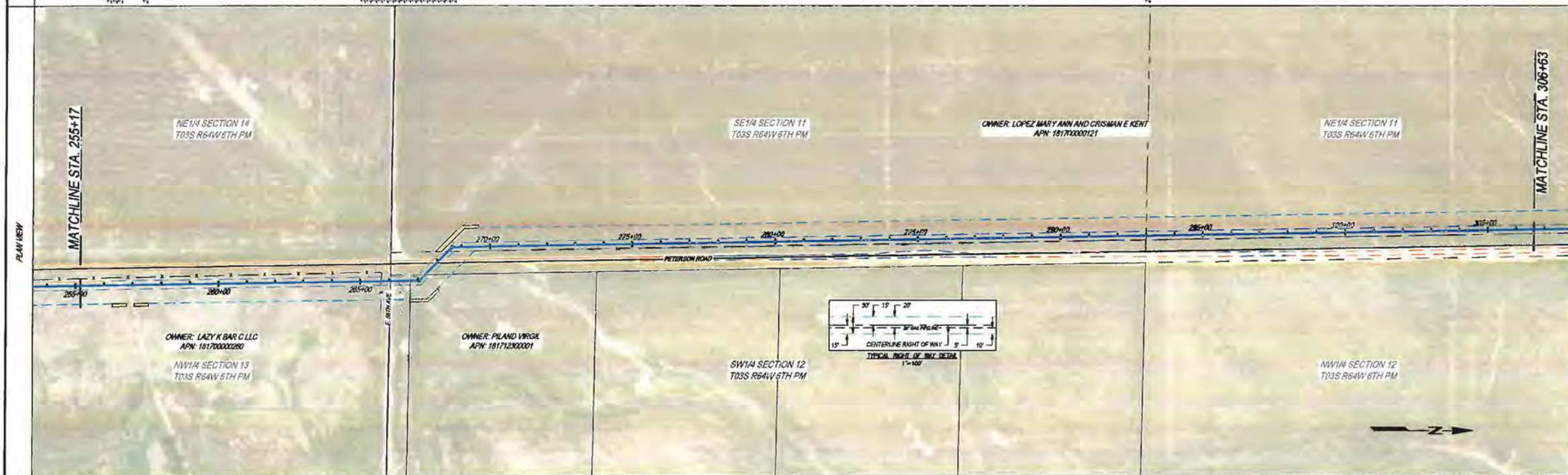
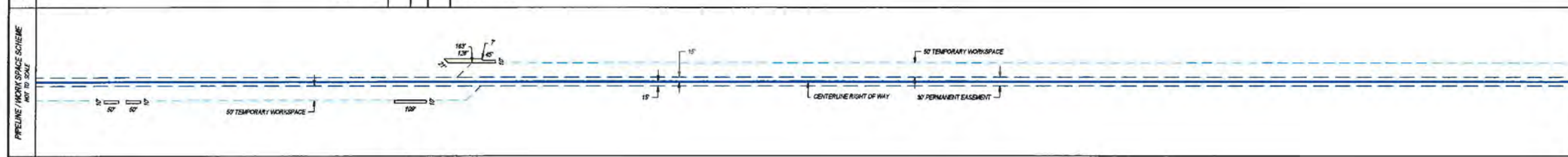
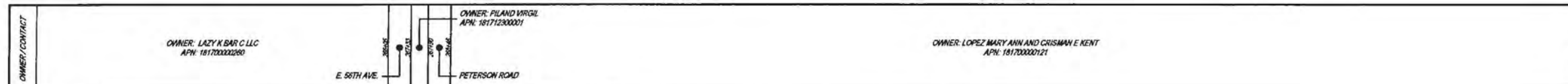
DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH010-DJ3
STA. 148+48 TO STA. 202+36

PROPOSED 20" GAS PIPELINE

SHEET: 5 OF 26
WFO-005



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.375"), SMS/ENR, CS API 5L, PS2, X-45, BSC, 12-14 MIL PIPE COATING	5000'
B	20.000"	20.000" O.D. PIPE (0.500"), SMS/ENR, CS API 5L, PS2, X-45, BSC, AND COATED	120'
C	20.000"	ELBOW, 90 DEG, 3/4" SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR T-52, API 5L PS2, ENR, OR X-52	0
D	20.000"	ELBOW, 45 DEG, 3/4" SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR T-52, API 5L PS2, ENR, OR X-52	2
E	20.000"	ELBOW, 30 DEG, 3/4" SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR T-52, API 5L PS2, ENR, OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3/4" SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR T-52, API 5L PS2, ENR, OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3/4" SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR T-52, API 5L PS2, ENR, OR X-52	0
H	20.000"	ELBOW, 12.5 DEG, 3/4" SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR T-52, API 5L PS2, ENR, OR X-52	0
J		TYPE I TEST STATION W/ MARKER	1
K		TYPE II TEST STATION W/ MARKER	0
L		ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. MICROPIPE PER API 1104 STANDARDS LATEST EDITION
2. CODES THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 48 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 500' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS. CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
5. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
8. 8 HOUR HYDROTEST PERFORMED AT 2100 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
9. FIELD JOINT COATING: SP-2088 PER SEC. 9.9, DISCOVERY CONSTRUCTION SPECIFICATIONS.
10. DESIGN TEMPERATURE: 1440 µm.
11. DESIGN TEMPERATURE: 100°F
12. MAOP @ 2000PSIG: 945-1440 µm.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 11, 12 & 13 T03S R64W 6TH PM

PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (500)

LEGEND

—	PERMANENT R.O.W.	—	POWER POLE
---	TEMPORARY WORKSPACE	—	TRANSMISSION TOWER
---	EXISTING PIPELINE	—	LIGHT POLE
---	PROPOSED PIPELINE ALIGNMENT	—	GUY WIRE
---	APPROX. EROSION CONTROL DITCH	—	WATER VALVE
---	OVERHEAD POWER LINE	—	IRRIGATION VALVE
---	SANITARY SEWER LINE	—	SCM
---	IRREGULAR	—	CATTLE GUARD
---	TELEPHONE LINE	—	LIGHT POLE
---	FIBER OPTIC LINE	—	CULVERT
---	UNDERGROUND ELECTRIC	—	SANITARY SEWER MANHOLE
---	SECTION LINE	—	TREE
---	QUARTER LINE	—	CLEAN OUT
---	SIXTEENTH LINE		
---	PROPERTY LINE		
---	FENCE		
---	DITCH		
---	RIGHT OF WAY		
---	EDGE OF TRAIL		
---	EDGE OF ROAD		
---	EDGE OF GRVEL		
---	CONCRETE		
---	EDGE OF ASPHALT		
---	ADDITIONAL TEMPORARY WORKSPACE		

REFERENCED DRAWINGS

ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION
			A	UPDOTE ROUTE

DRAWING REVISIONS

BY	CHK	APPD	DATE	DESCRIPTION
RMC	DWC		07/02/18	

DISCOVERY MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATSONS 20" GAS AFE GTH010-DJ3
STA. 255+17 TO STA. 305+63

PROPOSED 20" GAS PIPELINE

SHEET: **7 OF 26**
WTC-007

NOTES

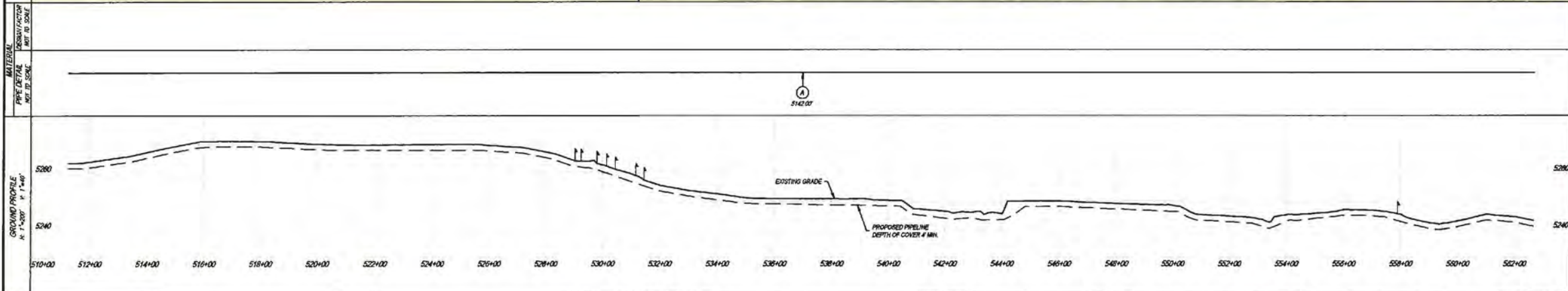
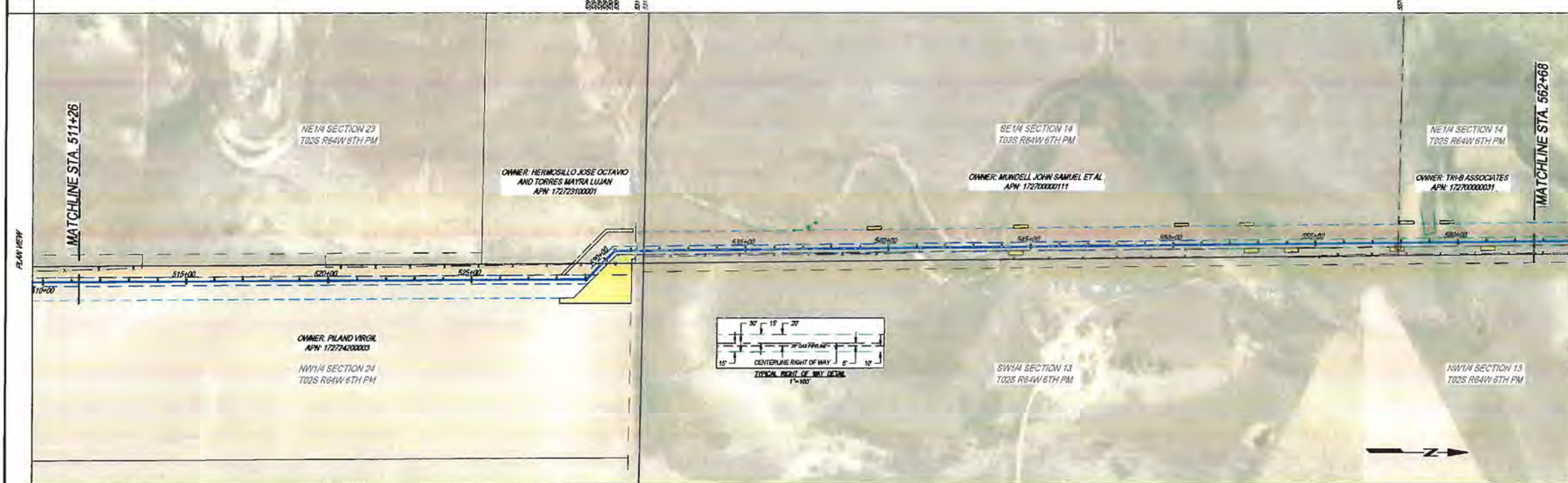
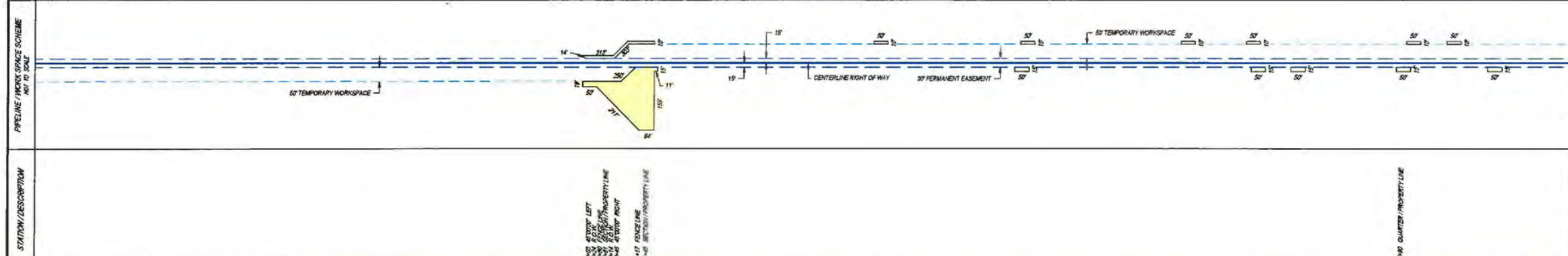
1. LOCATIONS OF UTILITIES AND TRENCH PIPELINES WERE DETERMINED FROM VISUAL SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY OTHERS PRIOR TO CONSTRUCTION.
2. BENCHMARKS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSSESSION USER SERVICE OFFERED BY THE N.C.S. AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (C.S. 83-20-20-100 & 100). DISTANCES SHOWN HEREON ARE IN US SURVEY FEET UNLESS OTHERWISE NOTED. THE COORDINATE SYSTEM USED TO OBTAIN THE GRID DISTANCES IS UNRESOLVED.
3. THE PROPOSED PIPELINE AND EXISTING PIPELINES, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR INSTALLING PURPOSES. THE EXISTING POSITION IS NOT BASED ON AN EXISTING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

OWNER: PILAND VIRGIL
APN: 17274200003

OWNER: HERMOSILLO JOSE OCTAVIO AND TORRES MAYRA LUJAN
APN: 17272310001

OWNER: MUNDELL JOHN SAMUEL ET AL
APN: 17270000111

OWNER: TRI-B ASSOCIATES
APN: 17270000031



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.175"), SMLS/ENR, CS API 5L, PS2, X-65, BBE, 12'-14' MAX. LGS. COILED	5142'
B	20.000"	20.000" O.D. PIPE (0.100"), SMLS/ENR, CS API 5L, PS2, X-65, BBE, 12'-14' MAX. LGS. COILED	0
C	20.000"	ELBOW, 90 DEG, 3R, SEAMLESS BEND, STD WALL, CS, MSS-SP-75, GR. T-52, API 5L, PS2, ENR, OR X-52	0
D	20.000"	ELBOW, 45 DEG, 3R, SEAMLESS BEND, STD WALL, CS, MSS-SP-75, GR. T-52, API 5L, PS2, ENR, OR X-52	2
E	20.000"	ELBOW, 30 DEG, 3R, SEAMLESS BEND, STD WALL, CS, MSS-SP-75, GR. T-52, API 5L, PS2, ENR, OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3R, SEAMLESS BEND, STD WALL, CS, MSS-SP-75, GR. T-52, API 5L, PS2, ENR, OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3R, SEAMLESS BEND, STD WALL, CS, MSS-SP-75, GR. T-52, API 5L, PS2, ENR, OR X-52	0
H	20.000"	ELBOW, 7.5 DEG, 3R, SEAMLESS BEND, STD WALL, CS, MSS-SP-75, GR. T-52, API 5L, PS2, ENR, OR X-52	0
J		TYPE I TEST STATION W/ MARKER	0
K		TYPE II TEST STATION W/ MARKER	0
L		ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. MICROPIPE PER API 1104 STANDARDS LATEST EDITION
2. CODES THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS. CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
5. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
8. 8 HOUR HYDROTEST PERFORMED AT 2100 - 2210 PSI FOR # HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
11. FIELD JOINT COATING: SP-2888 PER SEC. 9.9. DISCOVERY CONSTRUCTION SPECIFICATIONS.
12. DESIGN PRESSURE: 1440 psig.
13. DESIGN TEMP: 100°F
14. WADP # 2023ASYS: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOOKING: SECTIONS 14, 23 & 24 T02S, R64W 6TH PM.

PROJECTION: COLORADO STATE PLANE, NAD83
NORTH ZONE, US FOOT (GSD)

LEGEND

- PERMANENT R.O.W.
- TEMPORARY WORKSPACE
- EXISTING PIPELINE
- PROPOSED PIPELINE ALIGNMENT
- APPROX. EXISTING CONTROL DITCH
- OVERHEAD POWER LINE
- SANITARY SEWER LINE
- RAILROAD
- TELEPHONE LINE
- FIBER OPTIC LINE
- UNDERGROUND ELECTRIC
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- PROPERTY LINE
- FENCE
- DITCH
- RIGHT OF WAY
- EDGE OF TRAIL
- EDGE OF ROAD
- EDGE OF GRAVEL
- CONCRETE
- EDGE OF ASPHALT

ADDITIONAL TEMPORARY WORKSPACE

- PIPELINE MARKER
- TEST STATION
- DRILL ENTRY/EXIT
- POINT OF INTERSECTION
- TEST STATION/CP
- TEST STATION
- TELEPHONE/FIBER OPTIC/ CABLE PEDESTAL
- MAN BOX
- GAS METER
- WELL
- MONITORING WELL
- BOLLARD
- MARKER
- CLEAN OUT
- POWER POLE
- TRANSMISSION TOWER
- LIGHT POLE
- GUY WIRE
- WATER VALVE
- IRRIGATION VALVE
- SHO
- CHUTE GUARD
- LIGHT POLE
- CULVERT
- SANITARY SEWER MANHOLE
- TREE

NOTES

1. LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISIBLE SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY SURVEY PRIOR TO CONSTRUCTION.
2. BENCHMARKS SHOWN HEREON ARE BASED ON GPS OPERATIONS AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE NGS, AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (C.S. 83-52-100) AT 1002 DISTANCES SHOWN HEREON ARE IN US SURVEY FEET UNITS. THE CORRECTION FACTOR USED TO OBTAIN THE GRID DISTANCES IS SUPPLIED.
3. THE PROPOSED PIPELINE AND CONTROL POINTS, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS	
ID	DRAWING NUMBER	NO.	DESCRIPTION
		A	UPDATE ROUTE

SCALE: 1"=200'

DATE: 03/30/18
JOB NO.: 170012
JOB NAME: WATKINS
DRAWN BY: DMC
CHECKED BY: A
APP. NO.: GTR10-DJ3

DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

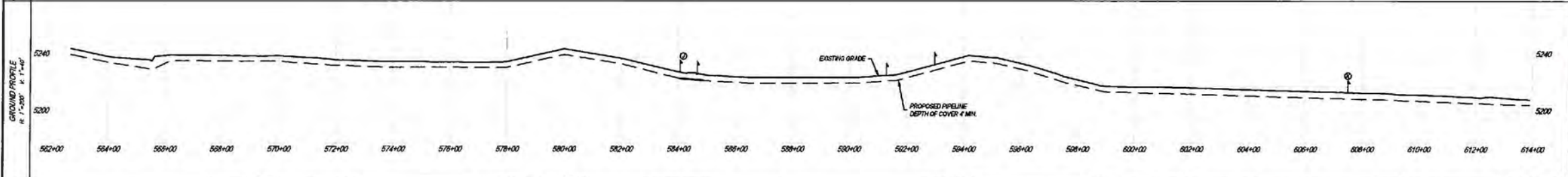
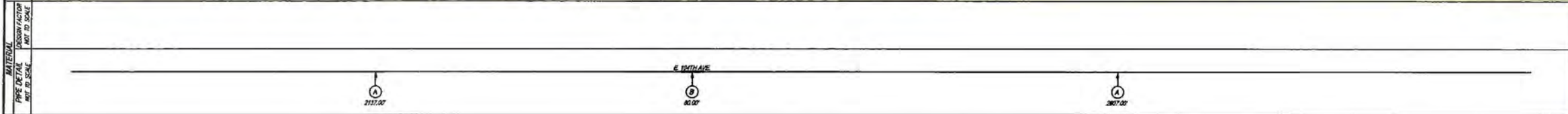
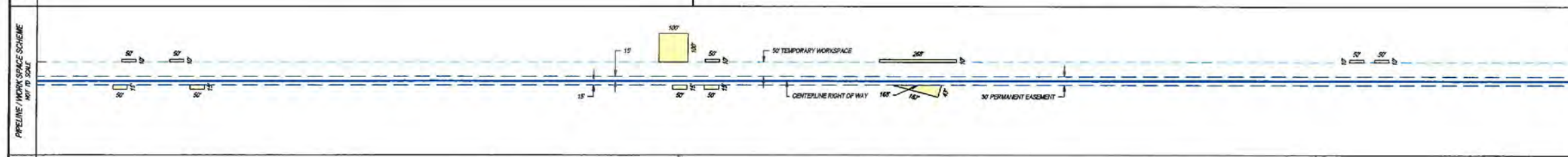
DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GT1010-DJ3
STA. 511+26 TO STA. 562+68

PROPOSED 20" GAS PIPELINE

SHEET:
12 OF 26
WTG-012

OWNER: TRI-B ASSOCIATES
APN: 17270000031

OWNER: TRI-B ASSOCIATES
APN: 17270000025



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.1375) SMLS/ERV, CS API 5L PSL2 X-65, BE, 12-14 MIL FBE COATED	5044'
B	20.000"	20.000" O.D. PIPE (0.5007) SMLS/ERV, CS API 5L PSL2 X-65, BE, AND COATED	80'
C	20.000"	ELBOW, 30 DEG, 3R, SEASONABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ERW, DR X-52	0
D	20.000"	ELBOW, 45 DEG, 3R, SEASONABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ERW, DR X-52	0
E	20.000"	ELBOW, 30 DEG, 3R, SEASONABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ERW, DR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3R, SEASONABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ERW, DR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3R, SEASONABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ERW, DR X-52	2
H	20.000"	ELBOW, 12.5 DEG, 3R, SEASONABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ERW, DR X-52	0
J		TYPE I TEST STATION W/ MARKER	1
K		TYPE II TEST STATION W/ MARKER	1
L		ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. MICROGRAPH PER API 1104 STANDARDS LATEST EDITION
2. CODES: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 5000' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION. TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
5. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
8. 8 HOUR HYDROTEST PERFORMED AT 2180 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
9. FIELD JOINT COATING: SP-2888 PER SEC. 6.8, DISCOVERY CONSTRUCTION SPECIFICATIONS.
10. DESIGN TEMPERATURE: 100°F
11. DESIGN PRESSURE: 1440 psig
12. DESIGN TEMPERATURE: 100°F
13. DESIGN TEMPERATURE: 100°F
14. WAPOR @ 20°C/MSC: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 11 & 14 T02S R64W 6TH PM.

PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (GND)

LEGEND

- PERMANENT BLOCK
- TEMPORARY WORKSPACE
- EXISTING PIPELINE
- PROPOSED PIPELINE ALIGNMENT
- APPROX. DISCOVERY CONTROL DEVICE
- OVERHEAD POWER LINE
- SANITARY SEWER LINE
- RAILROAD
- TELEPHONE LINE
- FIBER OPTIC LINE
- UNDERGROUND ELECTRIC
- SECTION LINE
- CENTERLINE
- SIXTEENTH LINE
- PROPERTY LINE
- FENCE
- DITCH
- RIGHT OF WAY
- EDGE OF TRAIL
- EDGE OF ROAD
- EDGE OF DRIVE
- CONCRETE
- EDGE OF ASPHALT

ADDITIONAL TEMPORARY WORKSPACE

- PIPELINE MARKER
- TEST STATION
- DRILL ENTRY/EXIT
- POINT OF INTERSECTION
- TEST STATION/CP
- TEST STATION
- TELEPHONE/FIBER OPTIC/CABLE PEDESTAL
- MAN BOX
- GAS METER
- WELL
- MONITORING WELL
- BOLLARD
- POWER POLE
- TRANSMISSION TOWER
- LIGHT POLE
- GUY WIRE
- WATER VALVE
- IRRIGATION VALVE
- SGH
- CATTLE GUARD
- LIGHT POLE
- CULVERT
- SANITARY SEWER MANHOLE
- TREE
- CLEAN OUT

REVISIONS

ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION	BY	CHK	APPD	DATE
			A	UPDATE ROUTE	RMC	DWC		07/02/18

DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH101-DJ3
STA. 562+68 TO STA. 613+92

PROPOSED 20" GAS PIPELINE

DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH101-DJ3
STA. 562+68 TO STA. 613+92

PROPOSED 20" GAS PIPELINE

13 OF 26

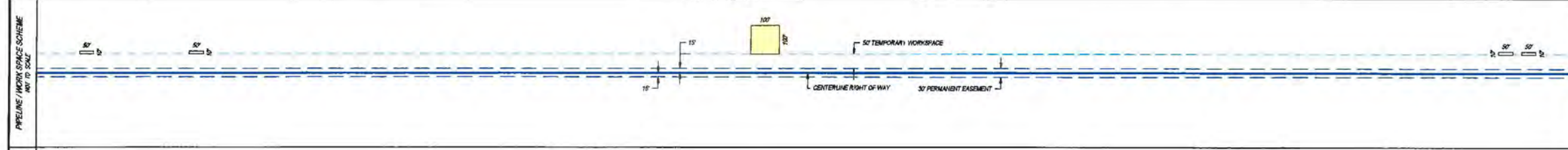
WTD-013

NOTES

1. LOCATIONS OF STRINGS AND FOREIGN PIPELINES WERE DETERMINED FROM VISUAL SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY OWNERS PRIOR TO CONSTRUCTION.
2. REVISIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE CREWMAN POSITIONING USER SERVICE OFFERED BY THE AULL AND PROJECTED TO TOLLROAD COORDINATE SYSTEM OF 1983 NORTH DATUM. SCALE: 30-50-100 ft. WELL LOCATIONS SHOWN HEREON ARE IN US SURVEY FEET UNITS. THE COMBINED FACTOR USED TO OBTAIN THE GRID COORDINATES IS 0.99972288.
3. THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO PROVIDE TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

OWNER: TRI-B ASSOCIATES
APN: 17270000025

OWNER: CAVALIER FAMILY LLC
APN: 17270000032



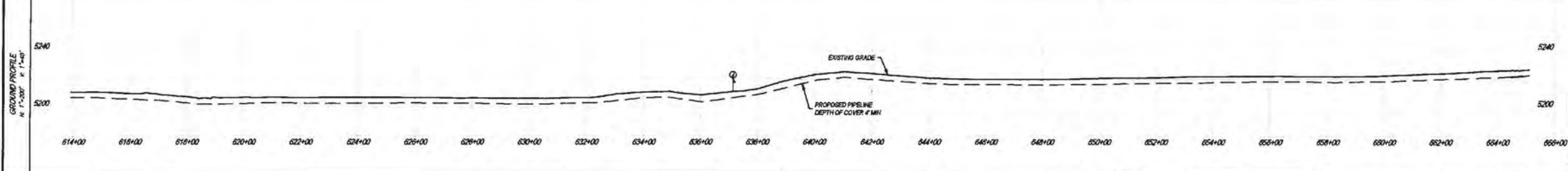
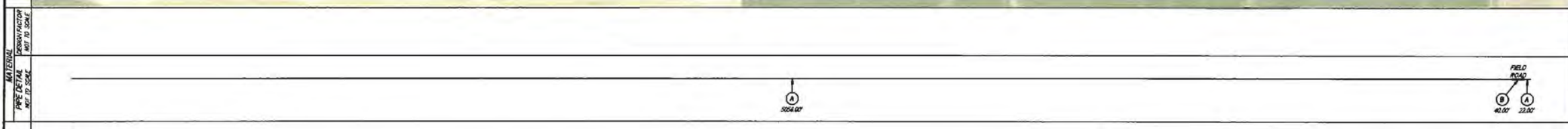
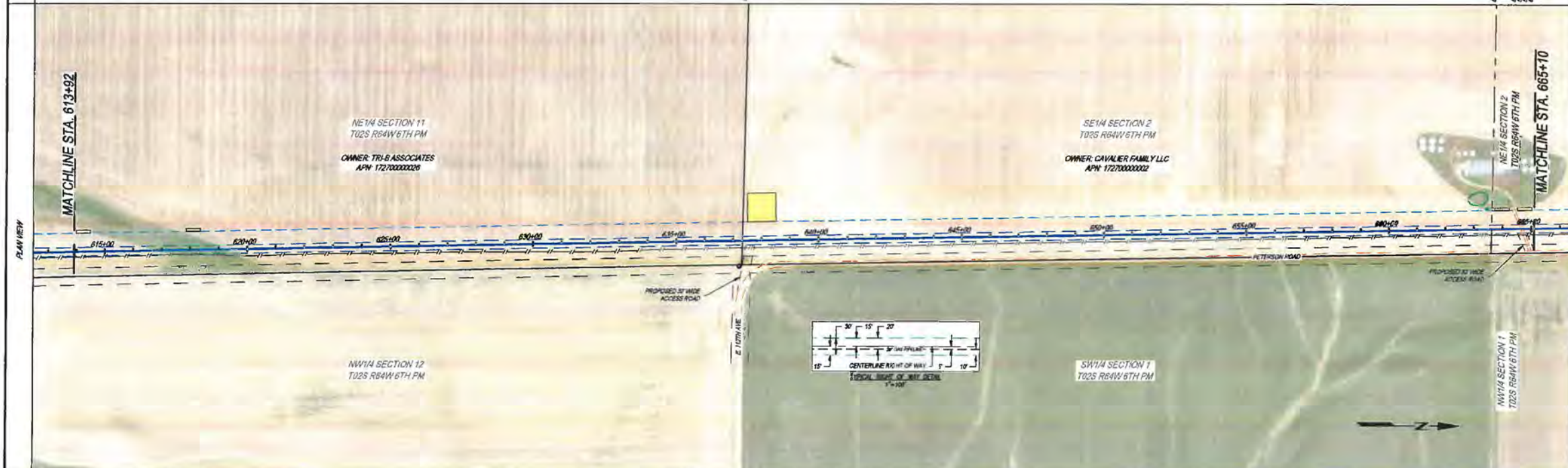
STATION/DESCRIPTION

SECTION 11
T02S R64W6TH PM
OWNER: TRI-B ASSOCIATES
APN: 17270000025

SECTION 2
T02S R64W6TH PM
OWNER: CAVALIER FAMILY LLC
APN: 17270000032

SECTION 12
T02S R64W6TH PM

SECTION 1
T02S R64W6TH PM



FIELD NOTES

- CONSTRUCTION PER API 1104 STANDARDS LATEST EDITION
- COUPLER THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A 48 CFR 192
 - ALL APPLICABLE PERMITS
 - COMPANY STANDARDS
- TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
- PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION. TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
- DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
- PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
- PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
- 8 HOUR HYDROTEST PERFORMED AT 2100 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
- FIELD JOINT COATING: SP-2000 PER SEC. S.A. DISCOVERY CONSTRUCTION SPECIFICATIONS.
- DESIGN TEMP: 100°F
- DESIGN PRESSURE: 1440 psig
- DESIGN TEMP: 100°F
- WACOP @ 200PSIGS: GAS-1440 psig

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 2 & 11 T02S, RANGE 6TH P.M.

PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (GSD)

LEGEND

- PERMANENT R.O.W.
- TEMPORARY WORKSPACE
- EXISTING PIPELINE
- PROPOSED PIPELINE ALIGNMENT
- APPROX. GROUND CONTROL DEVICE
- OVERHEAD POWER LINE
- SANITARY SEWER LINE
- RAILROAD
- TELEPHONE LINE
- FIBER OPTIC LINE
- UNDERGROUND ELECTRIC
- SECTION LINE
- COUNTY LINE
- SIXTEENTH LINE
- PROPERTY LINE
- FENCE
- DITCH
- RIGHT OF WAY
- EDGE OF TRAIL
- EDGE OF ROAD
- EDGE OF CHANNEL
- CONCRETE
- EDGE OF ASPHALT
- ADDITIONAL TEMPORARY WORKSPACE
- PIPELINE MARKER
- TEST STATION
- DRILL ENTRY/EXIT
- POINT OF INTERSECTION
- TEST STATION/CP
- TEST STATION
- TELEPHONE/FIBER OPTIC/ CABLE PEDESTAL
- MAIL BOX
- GAS METER
- WELL
- MONITORING WELL
- BOLLARD
- POWER POLE
- TRANSMISSION TOWER
- LIGHT POLE
- GUY WIRE
- WATER VALVE
- IRRIGATION VALVE
- SHOULDER
- OUTLET GUARD
- LIGHT POLE
- CULVERT
- SANITARY SEWER MANHOLE
- TREE
- CLEAN OUT

NOTES

- LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISUAL SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE COMPLETE. OTHER UTILITIES MAY EXIST AND ARE NOT FIELD LOCATED BY ENGINEER PRIOR TO CONSTRUCTION.
- REMARKS SHOWN HEREIN ARE BASED ON GPS OPERATIONS AND/OR THE ONLINE POSITIVE USER SERVICE OFFERED BY THE A.C.S. AND PROJECTED TO TERRAIN COORDINATE SYSTEM OF 1983 NORTH DATUM (NAD 83) IN UTM ZONE 12S. DIMENSIONS SHOWN HEREIN ARE IN US SURVEY FEET UNLESS OTHERWISE NOTED. THE CORNER FACTOR USED TO DERIVE THE GRID DIMENSIONS IS 0.9999999999999999.
- THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS		SCALE: 1"=200'	
ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION	BY
			A	UPDATE ROUTE	AWC

DATE	DATE	DATE
03/30/18	07/12/18	

DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

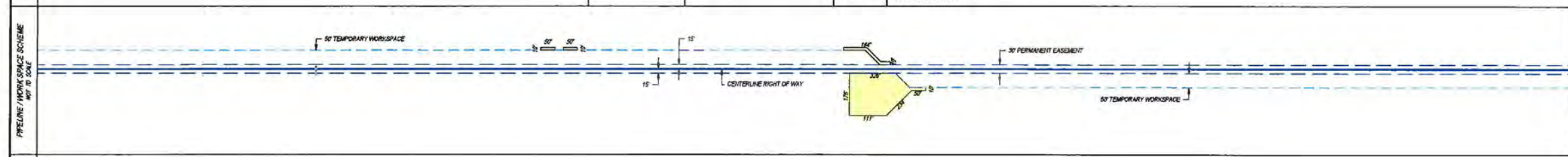
DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH10-DJ3
STA. 613+92 TO STA. 665+10

PROPOSED 20" GAS PIPELINE

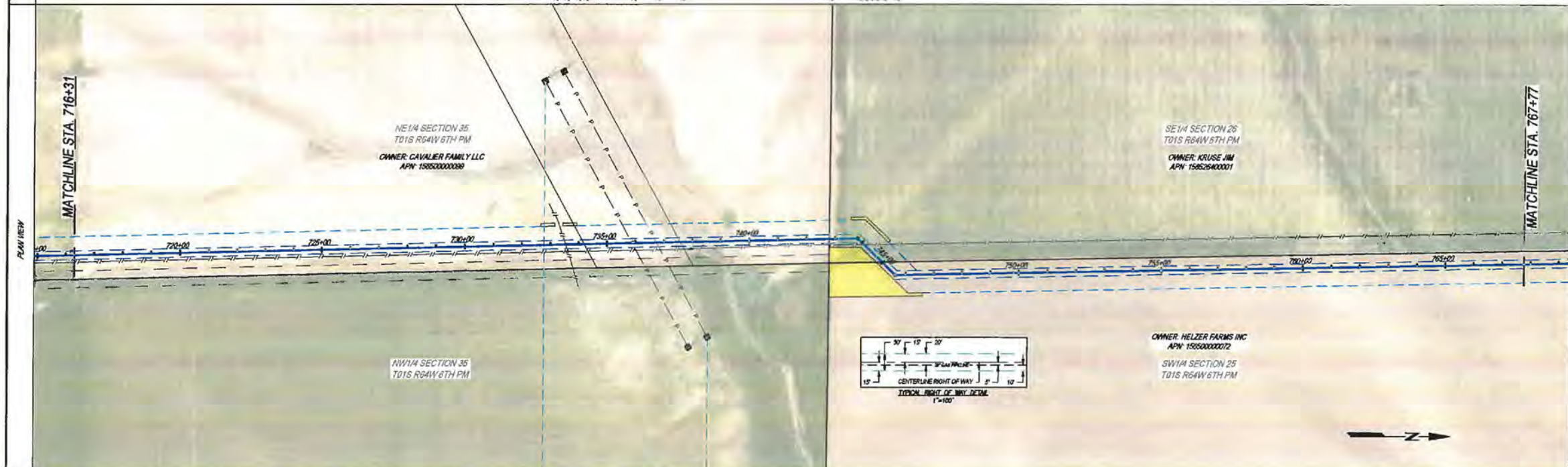
14 OF 26

810-014

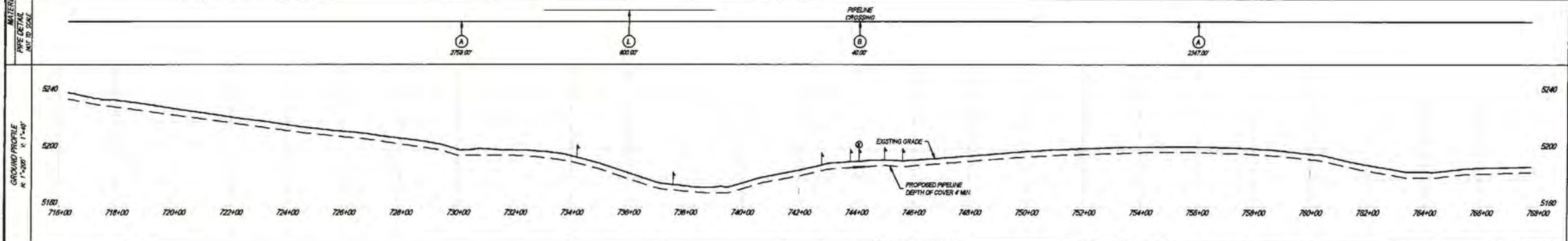
OWNER/CONTACT	OWNER: CAVALIER FAMILY LLC APN: 15650000089	PSC R.O.W.	OWNER: CAVALIER FAMILY LLC APN: 15650000089	OWNER: KRUSE JIM APN: 15652640001	OWNER: HELZER FARMS INC APN: 15650000072
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STATION/DESCRIPTION	25+00 INTERSECTION 25+04 HILLIARD PIPELINE 25+04 EAST BOUND 25+05 PROPERTY LINE	25+06 OVERHEAD POWERLINE	25+07 OVERHEAD POWERLINE	25+08 PROPERTY LINE	42+00 SECTION/PROPERTY LINE 42+00 SECTION/PROPERTY LINE 42+00 SECTION/PROPERTY LINE 42+00 SECTION/PROPERTY LINE 42+00 SECTION/PROPERTY LINE 42+00 SECTION/PROPERTY LINE
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MATERIAL	PIPE DETAIL NOT TO SCALE
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BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.375" SMLS/ENR, CS API 5L, PSL2, X-45, BBE, 12-14 REST PIPE COUPLER)	5100'
B	20.000"	20.000" O.D. PIPE (0.500" SMLS/ENR, CS API 5L, PSL2, X-45, BBE, 450 COUPLER)	40'
C	20.000"	ELBOW, 90 DEG, 3R, SEGMENTABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, PSL2, ENR, OR X-52	0
D	20.000"	ELBOW, 45 DEG, 3R, SEGMENTABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, PSL2, ENR, OR X-52	2
E	20.000"	ELBOW, 22.5 DEG, 3R, SEGMENTABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, PSL2, ENR, OR X-52	0
F	20.000"	ELBOW, 15.0 DEG, 3R, SEGMENTABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, PSL2, ENR, OR X-52	0
G	20.000"	ELBOW, 12.5 DEG, 3R, SEGMENTABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, PSL2, ENR, OR X-52	0
H	20.000"	ELBOW, 7.5 DEG, 3R, SEGMENTABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, PSL2, ENR, OR X-52	0
J		TYPE I TEST STATION W/ MARKER	0
K		TYPE II TEST STATION W/ MARKER	1
L		ZINC RIBBON	800'

- FIELD NOTES**
- PROSPECTOR: PER API 1104 STANDARDS LATEST EDITION
 - COUPLER: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 48 CFR 152
 - B. ALL APPLICABLE FORMATS
 - C. COMPANY STANDARDS
 - TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
 - PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT.
 - UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION.
 - TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
 - DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
 - PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
 - PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
 - 8 HOUR HYDROTEST PERFORMED AT 2160 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
 - FIELD JOINT COATING: SP-2888 PER SEC. B.P. DISCOVERY CONSTRUCTION SPECIFICATIONS.
 - DESIGN TEMPERATURE: 100°F
 - WACOP @ 2065PSI: GAS-1440 psig

SCALE & PROJECTION	
SCALE: 1"=200'	PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (GRID)

LEGEND	
PERMANENT R.O.W.	POWER POLE
TEMPORARY WORKSPACE	TRANSMISSION TOWER
EXISTING PIPELINE	LIGHT POLE
PROPOSED PIPELINE ALIGNMENT	GUY WIRE
APPROX. CROSSING CONTROL DEVICE	WATER VALVE
P	OVERHEAD POWER LINE
SS	SEWERY SEWER LINE
+	ARROWHEAD
T	TELEPHONE LINE
FO	FIBER OPTIC LINE
E	UNDERGROUND ELECTRIC
---	SECTION LINE
---	QUARTER LINE
---	SIXTEENTH LINE
---	PROPERTY LINE
X	FENCE
---	DITCH
---	RIGHT OF WAY
---	EDGE OF TRAIL
---	EDGE OF ROAD
---	EDGE OF SHOULDER
---	CONCRETE
---	EDGE OF ASPHALT
(Yellow shaded area)	ADDITIONAL TEMPORARY WORKSPACE
○	PIPELINE MARKER
⊙	TEST STATION
⊙	DRILL ENTRY/EXIT
⊙	POINT OF INTERSECTION
⊙	TEST STATION/PCP
⊙	TEST STATION
⊙	TELEPHONE/FIBER OPTIC/CABLE PEDESTAL
⊙	MAIL BOX
⊙	GAS METER
⊙	WELL
⊙	MONITORING WELL
⊙	HILLIARD
⊙	MARKER
⊙	CATTLE GUARD
⊙	LIGHT POLE
⊙	CHLVERT
⊙	SEWERY SEWER MANHOLE
⊙	TREE
⊙	CLEAN OUT

NOTES	
1.	LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISUAL SURVEY EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY OWNER PRIOR TO CONSTRUCTION.
2.	BOUNDARIES SHOWN HEREON ARE BASED ON GPS SURVEYS AND/OR THE ONLINE POSSESSION USER SERVICE OFFERED BY THE U.S. GEOLOGICAL SURVEY. THE COORDINATE SYSTEM IS 1983 NORTH ZONE, UTM ZONE 12Q UTM 8 & 9. HORIZONTAL COORDINATES ARE IN US SURVEY FEET (GRID). THE COMMON FACTOR USED TO DERIVE THE GRID COORDINATES IS 0.999998325.
3.	THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS		SCALE: 1"=200'	
ID	DRAWING NUMBER	NO.	DESCRIPTION	BY	CHK
		A	UPDATE ROUTE	RMC	DWC
				APD	DATE
					07/22/18
					DATE: 03/20/18
					JOB NO.: 170212
					JOB NAME: WATKINS
					DRAWN: RMC
					CHK: DWC
					REV: A
					WTG NO.: 07010-DJ3

DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

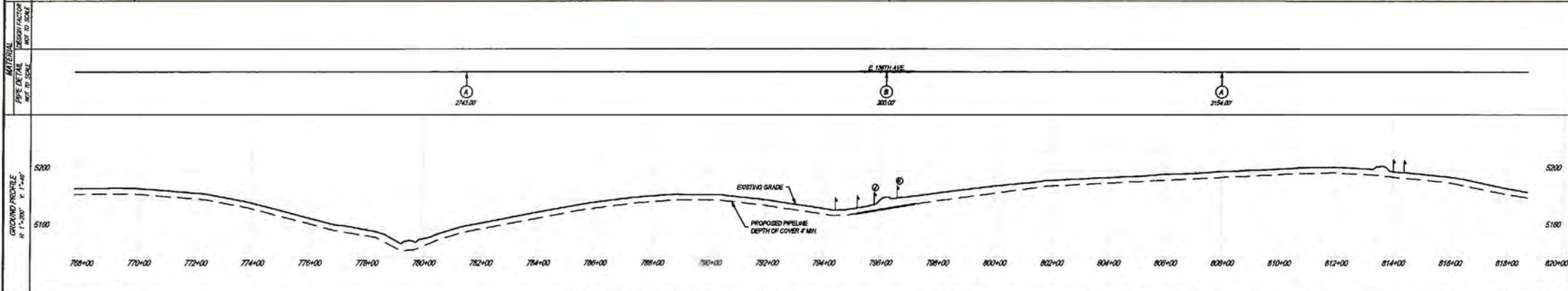
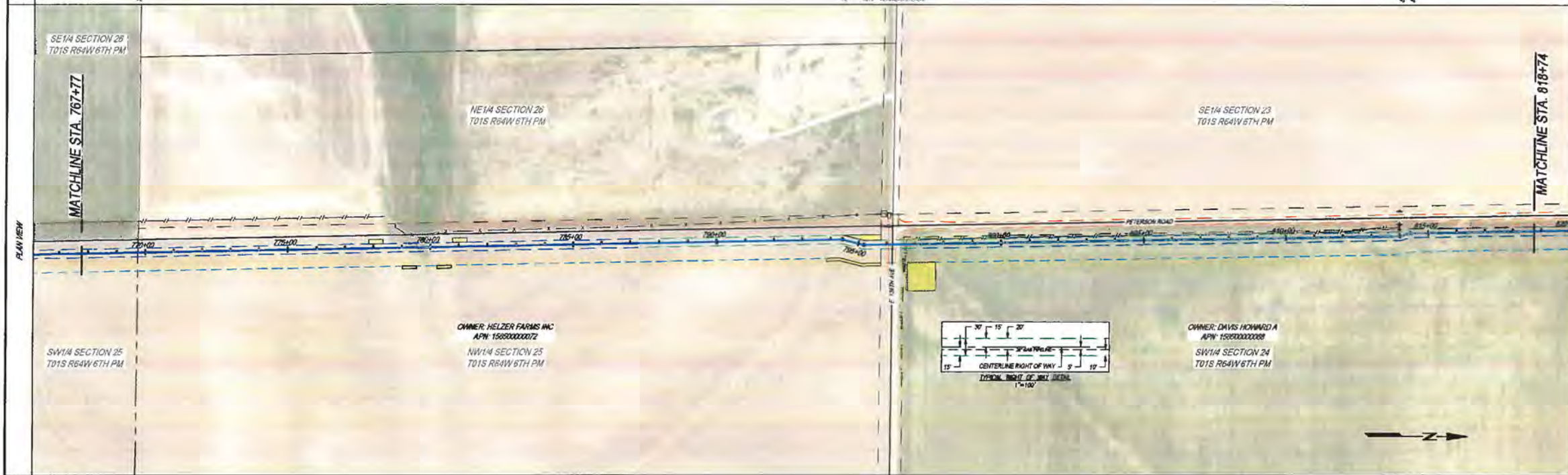
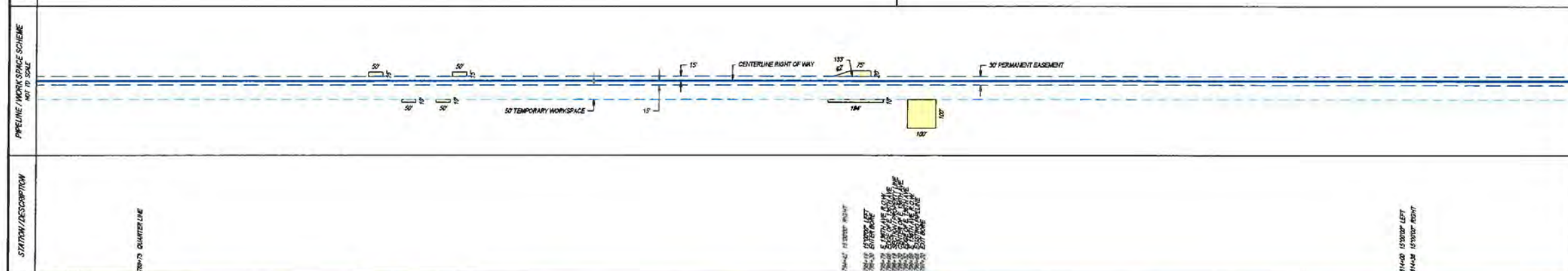
DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE 07H010-DJ3
STA. 716+31 TO STA. 767+77

PROPOSED 20" GAS PIPELINE

SHEET: 16 OF 26
WTG-018

OWNER: HELZER FARMS INC
APN: 15650000072

OWNER: DAVIS HOWARD A
APN: 15650000088



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (1.3175") SMLS/ERW, CS API 5L, PS2, X-65, BBE, 15'-14" BEYOND FIRE CONTROL	4807'
B	20.000"	20.000" O.D. PIPE (1.500") SMLS/ERW, CS API 5L, PS2, X-65, BBE, AND COUPLER	200'
C	20.000"	ELBOW, 90 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, PS2, ERW, OR X-52	0
D	20.000"	ELBOW, 45 DEG, 1/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, PS2, ERW, OR X-52	0
E	20.000"	ELBOW, 30 DEG, 1/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, PS2, ERW, OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, PS2, ERW, OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, PS2, ERW, OR X-52	4
H	20.000"	ELBOW, 7.5 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, PS2, ERW, OR X-52	0
J		TYPE I TEST STATION W/ MARKER	1
K		TYPE II TEST STATION W/ MARKER	1
L		ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. MICROPIPING PER API 1104 STANDARD LATEST EDITION
2. COUPLER THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 500' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION. TO ACHIEVE ABOVE CLEARANCE SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
5. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
8. 8 HOUR HYDROTEST PERFORMED AT 2180 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
9. FIELD JOINT COATING SP-2888 PER SEC. R.R. DISCOVERY CONSTRUCTION SPECIFICATIONS.
10. DESIGN TEMPS: 105°F
11. DESIGN PRESSURE: 1440 psig
12. DESIGN TEMPS: 105°F
13. DESIGN PRESSURE: 1440 psig
14. MAP @ 20000:000: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 24 & 25 T01S R64W 6TH PM.

PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (GRID)

LEGEND

- PERMANENT R.O.W.
- TEMPORARY WORKSPACE
- EXISTING PIPELINE
- PROPOSED PIPELINE ALIGNMENT
- APPROX. EROSION CONTROL DEVICE
- OVERHEAD POWER LINE
- SAWTOOTH POWER LINE
- RAILROAD
- TELEPHONE LINE
- FIBER OPTIC LINE
- UNDERGROUND ELECTRIC
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- PROPERTY LINE
- FENCE
- DITCH
- RIGHT OF WAY
- EDGE OF TRAIL
- EDGE OF ROAD
- EDGE OF DRAIN
- CONCRETE
- EDGE OF ASPHALT
- ADDITIONAL TEMPORARY WORKSPACE
- PIPELINE MARKER
- TEST STATION
- DRILL ENTRY/EXIT
- POINT OF INTERSECTION
- TEST STATION/CP
- TEST STATION
- TELEPHONE/FIBER OPTIC/CABLE PEDESTAL
- MAN BOX
- GAS METER
- WELL
- MONITORING WELL
- BOLLARD
- MARKER
- POWER POLE
- TRANSMISSION TOWER
- LIGHT POLE
- DUY WIRE
- WATER VALVE
- IRRIGATION VALVE
- SIGN
- CATTLE GUARD
- LIGHT POLE
- CULVERT
- SAWTOOTH POWER MARKER
- TREE
- CLEAN OUT

NOTES

1. LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM MOBILE SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY STUDY FROM TO EXISTENCE.
2. BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSITONING USER SERVICE OFFERED BY THE U.S.G.S. AND PROJECTED TO TORNOADO COORDINATE SYSTEM OF 1983 NORTH ZONE. (GCS: 2011-100 & 2011-100) & 3-DIM. COORDINATES SHOWN HEREON ARE IN US SURVEY FEET UNIT. THE COORDINATE FACTOR USED TO OBTAIN THE UTM COORDINATES IS SUPPLIED.
3. THE PROPOSED PIPELINE AND CROSSING PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS	
ID	DRAWING NUMBER	NO.	DESCRIPTION
		A	UPDATE ROUTE

DISCOVERY MIDSTREAM PARTNERS

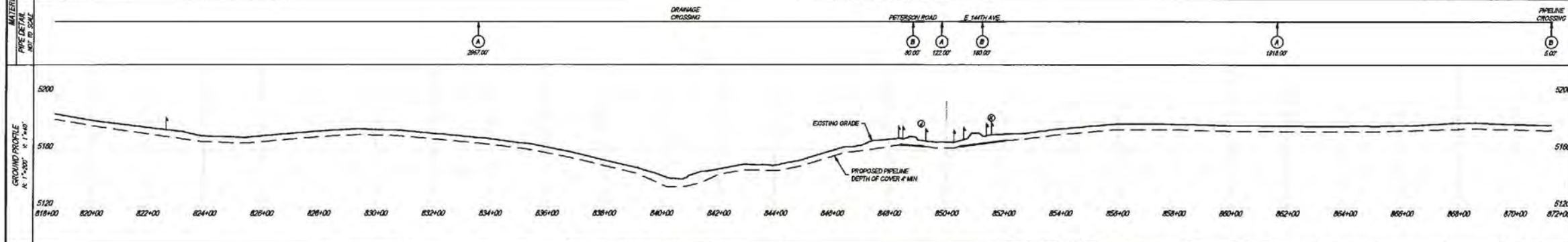
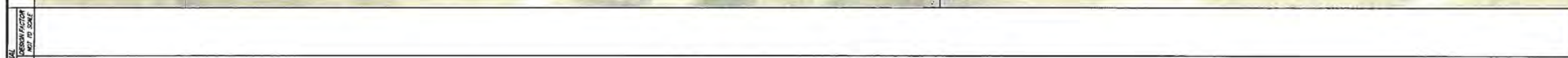
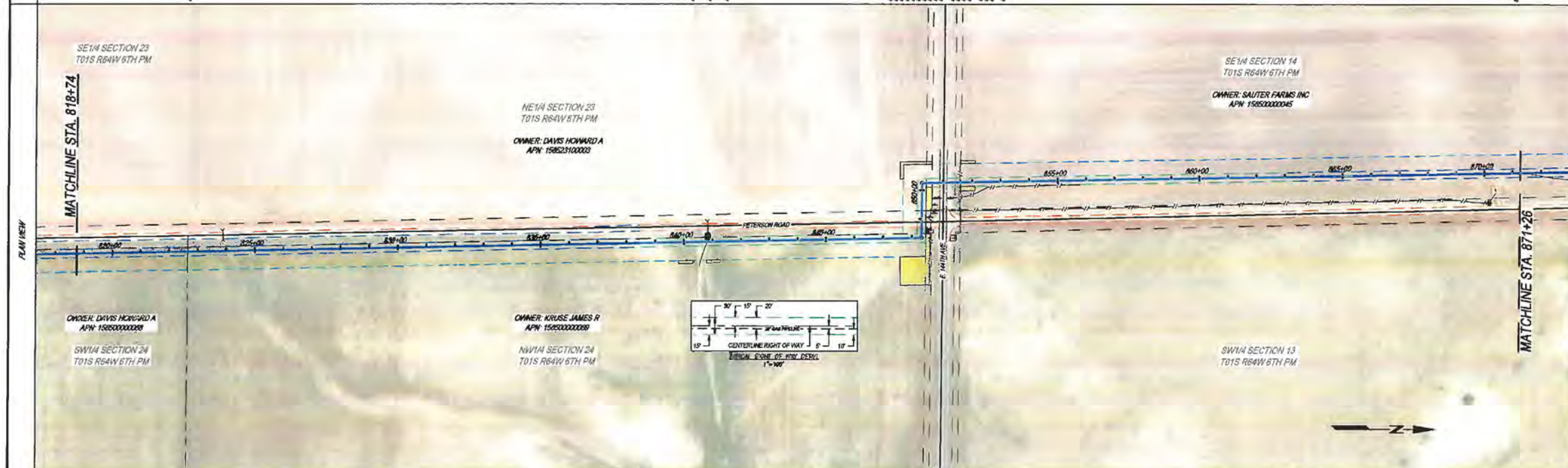
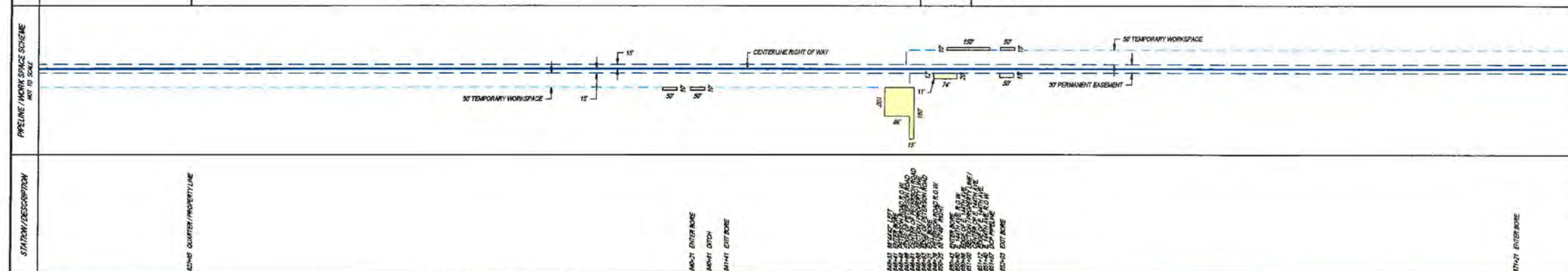
Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80801

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH010-DJ3
STA. 767+77 TO STA. 818+74

PROPOSED 20" GAS PIPELINE

SHEET: 17 OF 26
WTC-017

OWNER/CONTACT	OWNER: DAVIS HOWARD A APN: 150523100008	OWNER: KRUSE JAMES R APN: 150523100008	OWNER: DAVIS HOWARD A APN: 150523100003	OWNER: SAUTER FARMS INC APN: 150523100004
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BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.375" S.M.S./E.W., CS API 5L PSL2, X-85, BBE, 12-14 MBS FIRE COATED)	5007'
B	20.000"	20.000" O.D. PIPE (0.500" S.M.S./E.W., CS API 5L PSL2, X-85, BBE, BBI COATED)	245'
C	20.000"	ELBOW, 90 DEG, 3/4" SEGNORABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ENH. OR X-52	2
D	20.000"	ELBOW, 45 DEG, 3/4" SEGNORABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ENH. OR X-52	0
E	20.000"	ELBOW, 22.5 DEG, 3/4" SEGNORABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ENH. OR X-52	0
F	20.000"	ELBOW, 75.0 DEG, 3/4" SEGNORABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ENH. OR X-52	0
G	20.000"	ELBOW, 12.5 DEG, 3/4" SEGNORABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ENH. OR X-52	0
H	20.000"	ELBOW, 12.5 DEG, 3/4" SEGNORABLE BEND, STD WALL, CS, MSS-SP-75, GR. Y-52, API 5L PSL2, ENH. OR X-52	0
J		TYPE I TEST STATION W/ MARKER	1
K		TYPE II TEST STATION W/ MARKER	1
L		ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. PHOTOGRAPHS PER API 1104 STANDARDS LATEST EDITION
2. COORDS: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 500' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS. CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
5. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
8. 8 HOUR HYDROTEST PERFORMED AT 2180 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
9. FIELD JOINT COATING SP-2888 PER SEC. R.R. DISCOVERY CONSTRUCTION SPECIFICATIONS.
10. DESIGN PRESSURE: 1440 psig.
11. DESIGN TEMP: 100°F
12. MAP # 2025MYS: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 14, 23 & 24 T01S R64W 6TH PM

PROJECTION: COLORADO STATE PLANE, NAD83
NORTH ZONE, US FOOT (SNO)

LEGEND

—	PERMANENT R.O.W.	□	POWER POLE
- - -	TEMPORARY WORKSPACE	□	TRANSMISSION TOWER
—	EXISTING PIPELINE	○	LIGHT POLE
—	PROPOSED PIPELINE ALIGNMENT	○	GUY WIRE
—	APPROX. EROSION CONTROL DEVICE	○	WATER VALVE
—	OVERHEAD POWER LINE	○	IRRIGATION VALVE
—	SANITARY SEWER LINE	○	SIGN
—	RAILROAD	○	CATTLE GUARD
—	TELEPHONE LINE	○	LIGHT POLE
—	FIBER OPTIC LINE	○	CULVERT
—	UNDERGROUND ELECTRIC	○	SANITARY SEWER MANHOLE
—	SECTION LINE	○	TREE
—	QUARTER LINE	○	CLEAN OUT
—	SIXTEENTH LINE		
—	PROPERTY LINE		
—	FENCE		
—	DITCH		
—	RIGHT OF WAY		
—	EDGE OF TRAIL		
—	EDGE OF ROAD		
—	EDGE OF CORREL		
—	CONCRETE		
—	EDGE OF ASPHALT		
—	ADDITIONAL TEMPORARY WORKSPACE		

NOTES

- 1) LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISIBLE SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY STUDY FROM TO LOCATIONS.
- 2) BENCHMARKS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS MADE FOR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE NGS. WE PROJECTED TO TOLLROAD COORDINATE SYSTEM OF 1983 NORTH ZONE. ELEVATIONS SHOWN HEREON ARE IN US SURVEY FEET UNLESS OTHERWISE NOTED. THE CONVERSION FACTOR USED TO SHOW THE GRID DISTANCES IS 0.980066.
- 3) THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS	
ID	DRAWING NUMBER	NO.	DESCRIPTION
		A	UPDATE ROUTE

SCALE: 1"=200'

DATE: 03/20/18

JOB NO.: 170512

DISCOVERY MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

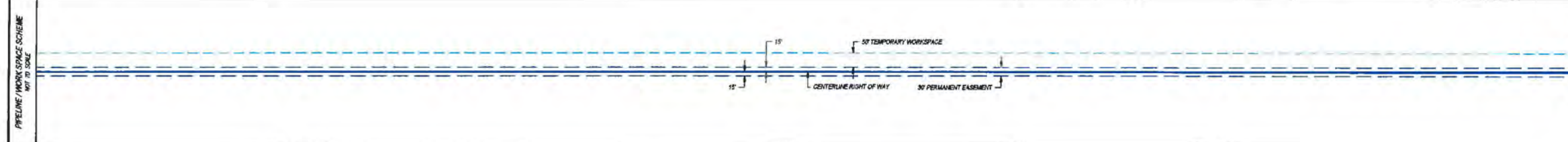
DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH10-DJ3
STA. 818+74 TO STA. 871+26

PROPOSED 20" GAS PIPELINE

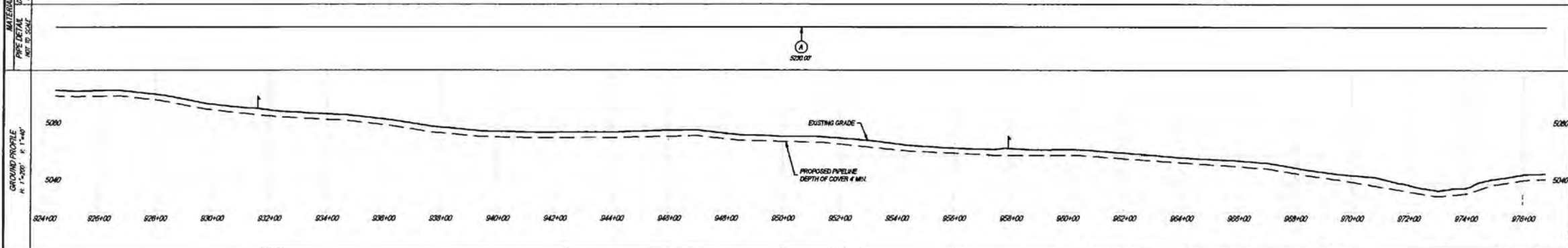
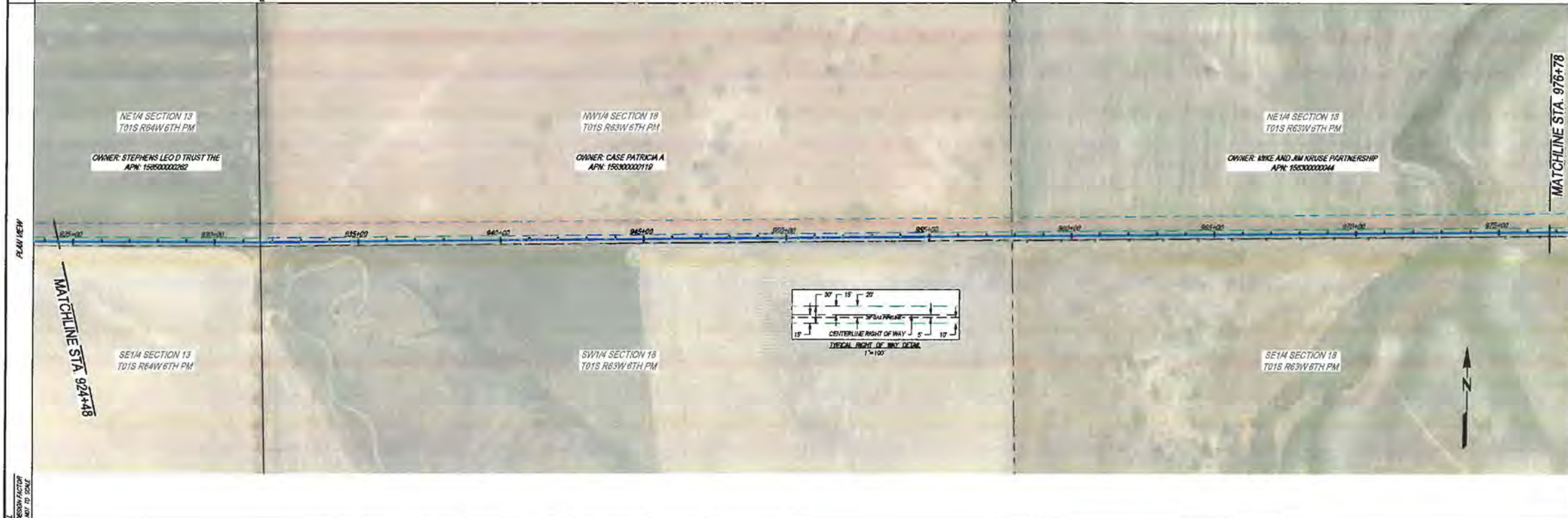
SHEET: 18 OF 26

WFD-018

OWNER CONTRACT	OWNER: STEPHENS LEO D TRUST THE APN: 15850000282	OWNER: CASE PATRICIA A APN: 15830000719	OWNER: MIKE AND JIM KRUSE PARTNERSHIP APN: 15830000044
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PIPELINE WORKSPACE SCHEME	WAY TO SCALE
STATION/DESCRIPTION	TEMP. SECTION / PROPERTY LINE



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.375" SMLS/WRN, CS API 5L, POLY X-85, WBE, 12-14 MILS FBE COATED)	5230'
B	20.000"	20.000" O.D. PIPE (0.500" SMLS/WRN, CS API 5L, POLY X-85, WBE, AND COATED)	0
C	20.000"	ELBOW, 90 DEG, 3/4" SEAMENABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, POLY, ENR, OR X-52	0
D	20.000"	ELBOW, 45 DEG, 3/4" SEAMENABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, POLY, ENR, OR X-52	0
E	20.000"	ELBOW, 30 DEG, 3/4" SEAMENABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, POLY, ENR, OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3/4" SEAMENABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, POLY, ENR, OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3/4" SEAMENABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, POLY, ENR, OR X-52	0
H	20.000"	ELBOW, 12.5 DEG, 3/4" SEAMENABLE BEND, STD WALL, CS, MSS-SP-75, DR. Y-52, API 5L, POLY, ENR, OR X-52	0
J		TYPE I TEST STATION W/ MARKER	0
K		TYPE II TEST STATION W/ MARKER	0
L		ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. INSPECTIONS PER APN 1104 STANDARDS LATEST EDITION.
2. CODES: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 48 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COUNTY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION.
5. TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
6. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
8. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
9. 8 HOUR HYDROTEST PERFORMED AT 2180 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
11. FIELD JOINT COATING SP-2888 PER SEC. 8.8, DISCOVERY CONSTRUCTION SPECIFICATIONS.
12. DESIGN PRESSURE: 1440 psig.
13. DESIGN TEMP: 100°F
14. MAOP @ 2085PSIG: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTION 13 T01S, R64W & SECTION 18 T01S, R63W 6TH P.M.

PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (SMB)

LEGEND

	PERMANENT R.O.W.		POWER POLE
	TEMPORARY WORKSPACE		TRANSMISSION TOWER
	EXISTING PIPELINE		LIGHT POLE
	PROPOSED PIPELINE ALIGNMENT		GUY WIRE
	APPROX. EROSION CONTROL DEVICE		WATER VALVE
	OVERHEAD POWER LINE		IRRIGATION VALVE
	SANITARY SEWER LINE		MANHOLE BOX
	RAILROAD		SIGN
	TELEPHONE LINE		CATCHMENT
	FIBER OPTIC LINE		SANITARY SEWER MANHOLE
	UNDERGROUND ELECTRIC		TREE
	SECTION LINE		CLEAN OUT
	QUARTER LINE		
	SIXTEENTH LINE		
	PROPERTY LINE		
	FENCE		
	DITCH		
	RIGHT OF WAY		
	EDGE OF TRAIL		
	EDGE OF ROAD		
	EDGE OF SHOULDER		
	CONCRETE		
	EDGE OF ASPHALT		
	ADDITIONAL TEMPORARY WORKSPACE		

NOTES

1. LOCATIONS OF UTILITIES AND PROPERTY LINES WERE DETERMINED FROM VISUAL SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE NOT SHOWN.
2. REVISIONS SHOWN HEREON ARE BASED ON GPS COORDINATES AND/OR THE ONLINE POSITONING USER SOURCE OFFERED BY THE AGCS, AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (EARS, 83-10N-10E & 84E DISTRICTS SHOWN HEREON ARE IN US SURVEY FEET UNIT). THE COMBINED FACTOR USED TO OBTAIN THE GRID COORDINATES IS 0.9999988.
3. THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS				SCALE: 1"=200'	
ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION	BY	CHK	DATE
			A	UPDATE ROUTE	RMC	DWC	07/02/18

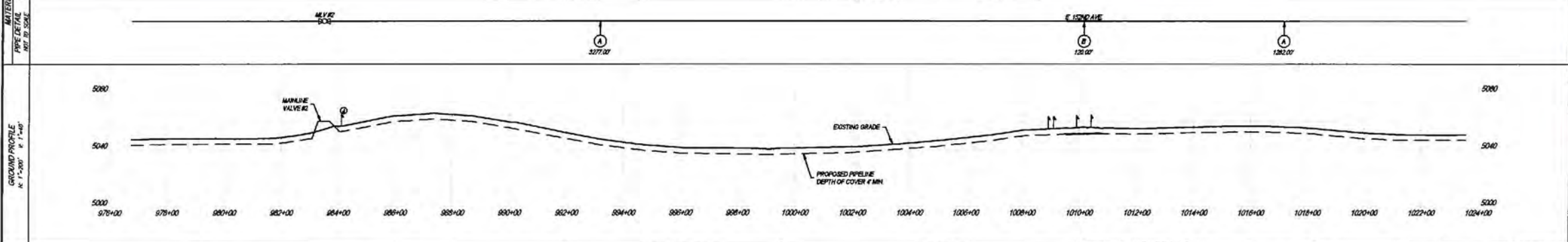
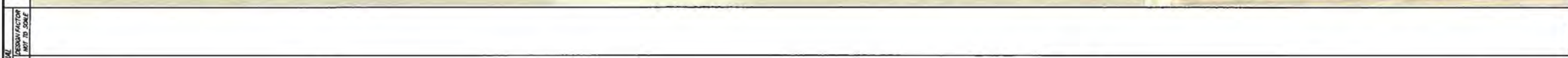
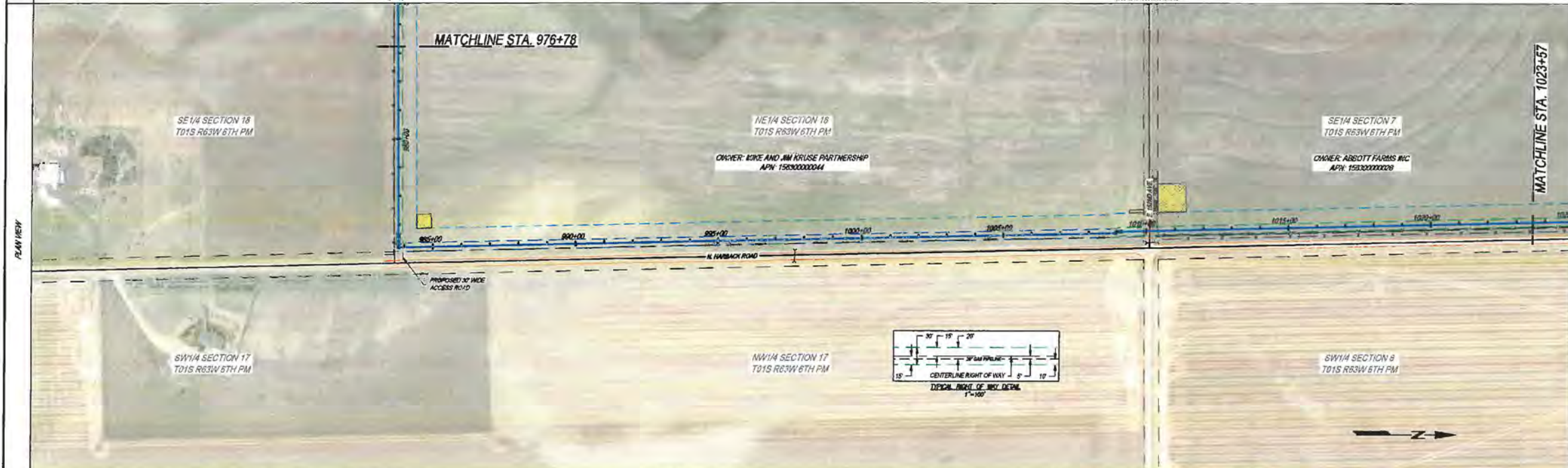
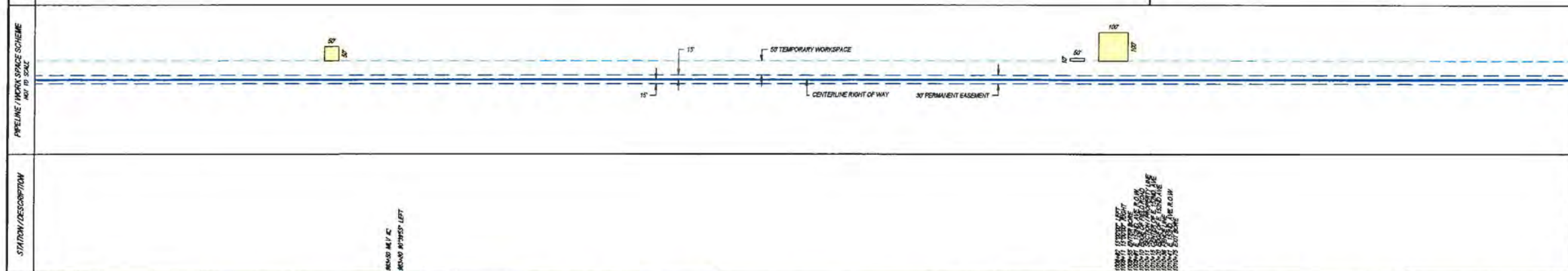
DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GTH010-DJ3
STA. 824+48 TO STA. 978+78

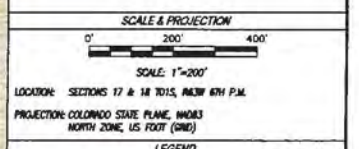
PROPOSED 20" GAS PIPELINE

SHEET: 20 OF 26
WTC-020



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.375" WALL THICKNESS, 12-14 MILS FIBRE COATED)	4550'
B	20.000"	20.000" O.D. PIPE (0.500" WALL THICKNESS, 12-14 MILS FIBRE COATED)	120'
C	20.000"	ELBOW, 90 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR 1-52, API 5L POLY. ENR. OR X-52	1
D	20.000"	ELBOW, 45 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR 1-52, API 5L POLY. ENR. OR X-52	0
E	20.000"	ELBOW, 30 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR 1-52, API 5L POLY. ENR. OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR 1-52, API 5L POLY. ENR. OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR 1-52, API 5L POLY. ENR. OR X-52	2
H	20.000"	ELBOW, 12.5 DEG, 3/4" SEAMWELD BEAD, STD WALL, CS, MSS-SP-75, OR 1-52, API 5L POLY. ENR. OR X-52	0
J		TYPE I TEST STATION W/ MARKER	1
K		TYPE II TEST STATION W/ MARKER	0
L		ZINC RIBBON	0

- FIELD NOTES**
- CONSTRUCTION:
 - PERFORM PER APPLICABLE PERMITS FOR AP 1104 STANDARDS LATEST EDITION.
 - CODES: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - 48 CFR 182
 - ALL APPLICABLE PERMITS
 - CONWAY STANDARDS
 - TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
 - PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION.
 - TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
 - DRAW PROFILE INTENDED AS A GUIDE ONLY. DRAFTER IS RESPONSIBLE FOR FINAL PROFILE.
 - PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
 - PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 40" UNLESS OTHERWISE NOTED.
 - 8 HOUR HYDROTEST PERFORMED AT 2100 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
 - FIELD JOINT COATING: SP-2888 PER SEC. D.B. DISCOVERY CONSTRUCTION SPECIFICATIONS.
 - DESIGN PRESSURE: 1440 psig.
 - DESIGN TEMP: 100°F
 - WAP @ 2003/05: GAS-1440 psig.



LEGEND

	PERMANENT R.O.W.		TEMPORARY WORKSPACE
	EXISTING PIPELINE		PROPOSED PIPELINE ALIGNMENT
	PROPOSED EROSION CONTROL DEVICE		OVERHEAD POWER LINE
	SANITARY SEWER LINE		RAILROAD
	TELEPHONE LINE		FIBER OPTIC LINE
	UNDERGROUND ELECTRIC		SECTION LINE
	QUARTER LINE		SIXTEENTH LINE
	PROPERTY LINE		FENCE
	DITCH		RIGHT OF WAY
	EDGE OF TRAIL		EDGE OF ROAD
	EDGE OF GRAVEL		CONCRETE
	EDGE OF ASPHALT		ADDITIONAL TEMPORARY WORKSPACE

	PIPELINE MARKER		POWER POLE
	TEST STATION		TRANSMISSION TOWER
	DRILL ENTRY/EXIT		LIGHT POLE
	POINT OF INTERSECTION		OUT MINE
	TEST STATION/TOP		WATER VALVE
	TEST STATION		IRRIGATION VALVE
	TELEPHONE/FIBER OPTIC CABLE PEDESTAL		MAN BOX
	GAS METER		CATTLE GUARD
	WELL		LIGHT POLE
	MONITORING WELL		CULVERT
	BOLLARD		SANITARY SEWER MANHOLE
	MARKER		TREE
	CLEAN OUT		

NOTES

- LOCATIONS OF DEVICES AND FOREIGN PROPERTIES WERE DETERMINED FROM VISIBLE SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- BOUNDARIES SHOWN HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSITONING USER SERVICE OFFERED BY THE U.S. AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE. UTM 18Q UTM 18Q 1000 & 5000 METERS SHOWN HEREON ARE IN US SURVEY FEET UNITS. THE CORRECTION FACTOR USED TO DRAW THE GRID BOUNDARIES IS 0.9999999999.
- THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS		SCALE: 1"=200'	
ID	DRAWING NUMBER	NO.	DESCRIPTION	BY	DATE
A	UPDATE ROUTE				07/22/18

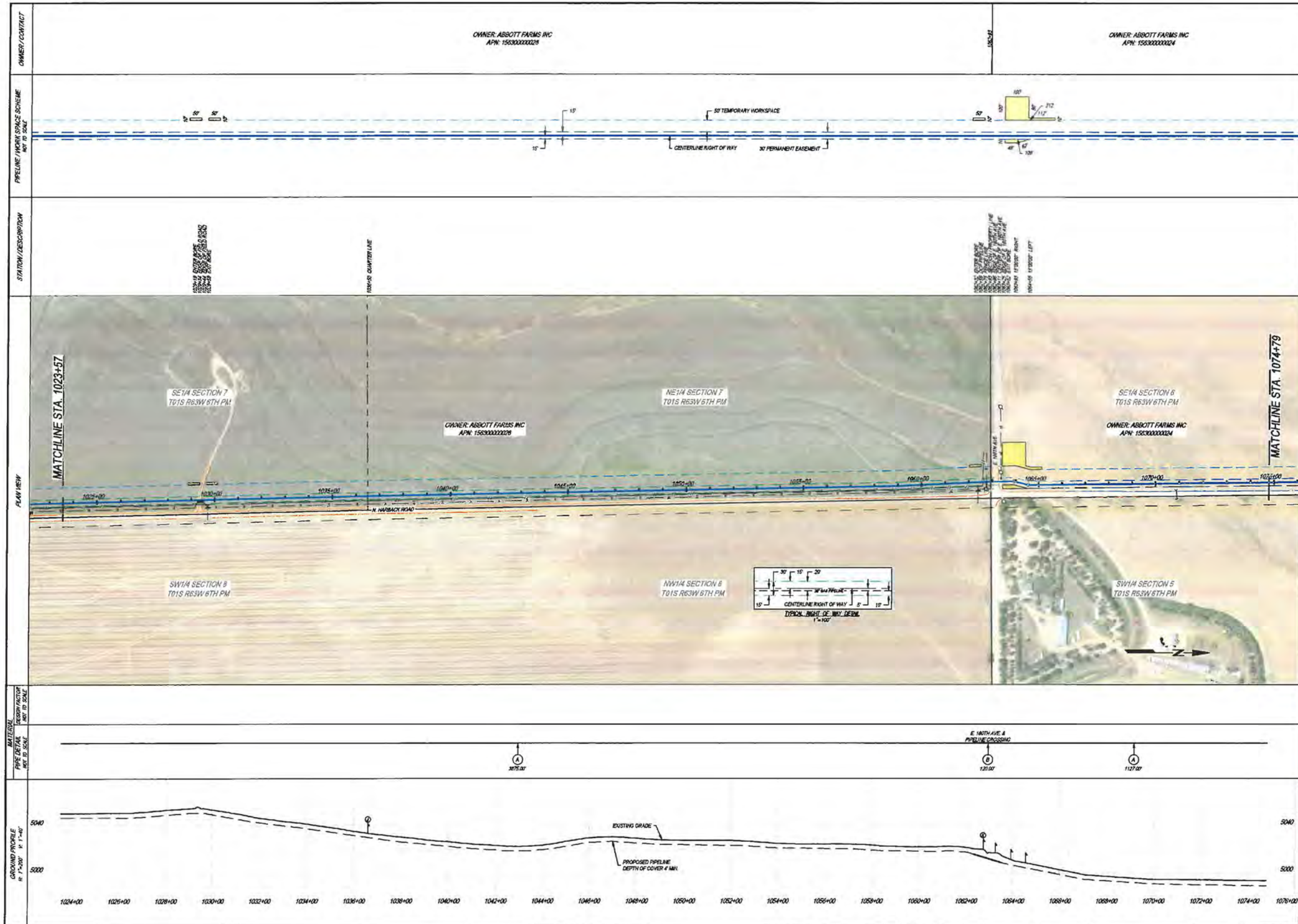
DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE 6TH10-DJ3
STA. 976+78 TO STA. 1023+57

PROPOSED 20" GAS PIPELINE

SHEET: 21 OF 26
WFG-021



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE, (0.375" SMLS/ENR, CS API 5L PSL2, X-45, BSC, 15-14 BLS FSC COATED)	5002'
B	20.000"	20.000" O.D. PIPE, (0.500" SMLS/ENR, CS API 5L PSL2, X-45, BSC, AND COATED)	120'
C	20.000"	ELBOW, 90 DEG, 3/4" SEIGNENBLE BEND, STD WALL, CS, MSS-SP-75, DR T-52, API 5L PSL2, ENR, OR X-52	0
D	20.000"	ELBOW, 45 DEG, 3/4" SEIGNENBLE BEND, STD WALL, CS, MSS-SP-75, DR T-52, API 5L PSL2, ENR, OR X-52	0
E	20.000"	ELBOW, 30 DEG, 3/4" SEIGNENBLE BEND, STD WALL, CS, MSS-SP-75, DR T-52, API 5L PSL2, ENR, OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3/4" SEIGNENBLE BEND, STD WALL, CS, MSS-SP-75, DR T-52, API 5L PSL2, ENR, OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3/4" SEIGNENBLE BEND, STD WALL, CS, MSS-SP-75, DR T-52, API 5L PSL2, ENR, OR X-52	2
H	20.000"	ELBOW, 12.5 DEG, 3/4" SEIGNENBLE BEND, STD WALL, CS, MSS-SP-75, DR T-52, API 5L PSL2, ENR, OR X-52	0
J		TYPE I TEST STATION W/ MANHOLE	1
K		TYPE II TEST STATION W/ MANHOLE	1
L		ZINC ANHOD	0

FIELD NOTES

CONSTRUCTION:

1. PROFILES: PER API 1104 STANDARDS LATEST EDITION
2. COOKS THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION.
5. TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
6. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
8. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
9. 8 HOUR HYDROTEST PERFORMED AT 2100 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
10. FIELD JOINT COATING: SP-2888 PER SEC. 9.2, DISCOVERY CONSTRUCTION SPECIFICATIONS.
11. DESIGN TEMP: 100°F
12. DESIGN PRESSURE: 1440 psig
13. DESIGN TEMP: 100°F
14. MOP @ 20R3M5: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 6 & 7 T01S R63W 6TH PM

PROJECTION: COLORADO STATE PLANE, NAD83 NORTH ZONE, US FOOT (GHD)

LEGEND

- PERMANENT R.O.W.
- TEMPORARY WORKSPACE
- EXISTING PIPELINE
- PROPOSED PIPELINE ALIGNMENT
- APPROX. CROSSING CONTROL DEVICE
- P - P OVERHEAD POWER LINE
- SS SANITARY SEWER LINE
- INULCND UNDERGROUND
- FO TELEPHONE LINE
- FO FIBER OPTIC LINE
- E UNDERGROUND ELECTRIC
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- PROPERTY LINE
- FENCE
- DITCH
- RIGHT OF WAY
- EDGE OF TRAIL
- EDGE OF ROAD
- EDGE OF SHOULDER
- CONCRETE
- EDGE OF ASPHALT

ADDITIONAL TEMPORARY WORKSPACE

- PIPELINE MARKER
- TEST STATION
- DRILL ENTRY/DIT
- POINT OF INTERSECTION
- TEST STATION/CP
- TEST STATION
- TELEPHONE/FIBER OPTIC/CHBLE PEDESTAL
- MANHOLE
- GAS METER
- WELL
- MONITORING WELL
- BOLLARD
- MANHOLE
- CLEAN OUT
- POWER POLE
- TRANSMISSION TOWER
- LIGHT POLE
- CITY WIRE
- WATER VALVE
- REGULATION VALVE
- SIGN
- CATTLE GUARD
- LIGHT POLE
- CULVERT
- SANITARY SEWER MANHOLE
- TREE

REFERENCES

ID	DRAWING NUMBER	TITLE
A	UPDATE ROUTE	

DRAWING REVISIONS

NO.	DESCRIPTION	BY	CHK	APPD	DATE
A	UPDATE ROUTE	FWC	CNC		07/02/18

DISCOVERY
MIDSTREAM PARTNERS

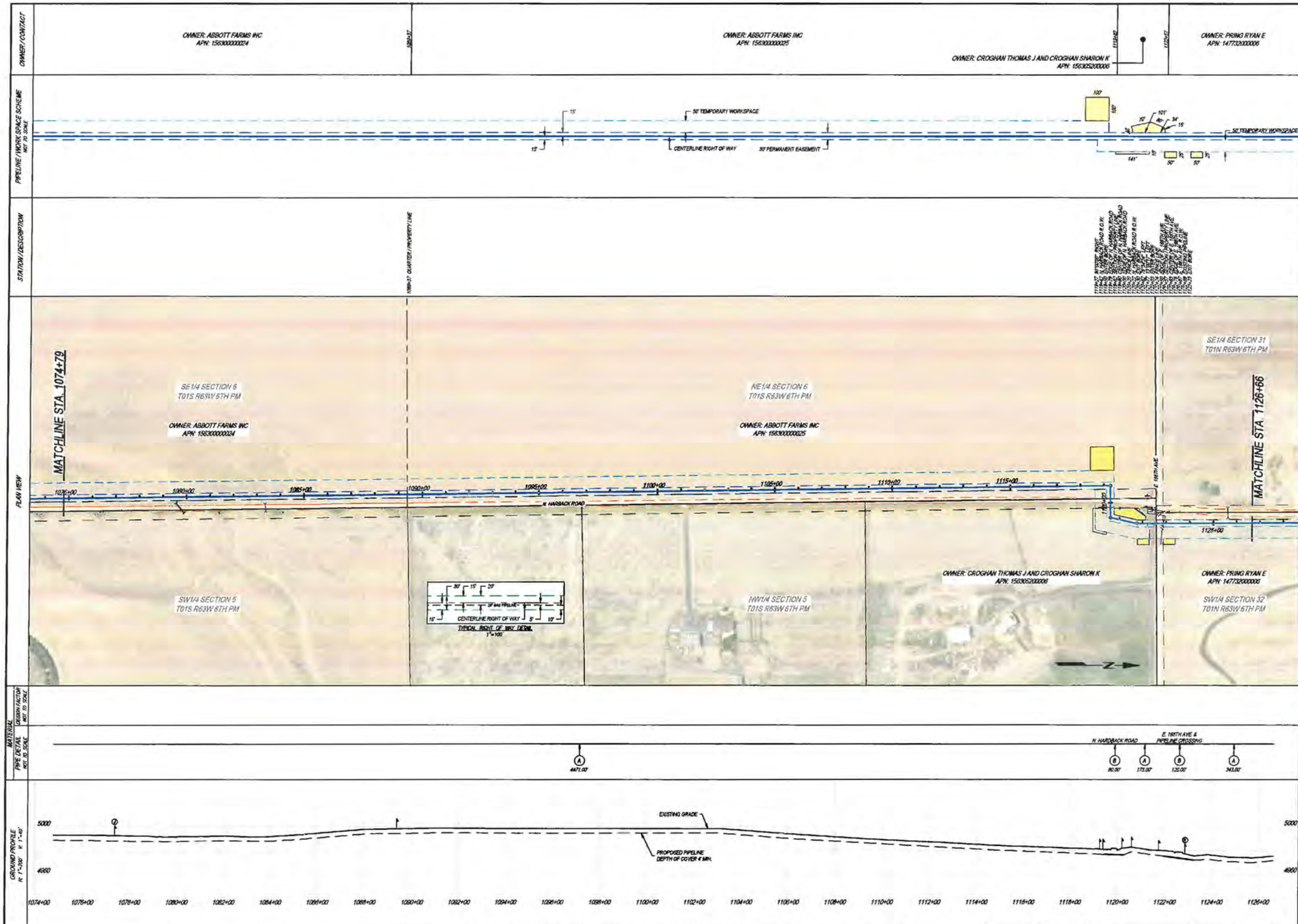
Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE GT1010-DJ3
STA. 1023+57 TO STA. 1074+79

PROPOSED 20" GAS PIPELINE

SHEET: 22 OF 28
WTD-022

NOTES:
 1. LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISUAL SURVEY EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE NOT TO BE USED FOR CONSTRUCTION.
 2. BUSINESS SHOWS HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE U.S.G.S. AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (CRS, 30-15-100 & 10N). DISTANCES SHOWN HEREON ARE IN US SURVEY FEET UNLESS OTHERWISE NOTED. THE COMBINED FACTOR USED TO OBTAIN THE GRID COORDINATES IS 0.9999999999999999.
 3. THE PROPOSED PIPELINE AND CROSSING PROFILE, IF SHOWN, IS PROVIDED TO INDICATE PROPOSED CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.



BILL OF MATERIALS		
ID	SIZE	QUANTITY
A	20.000"	4687'
B	20.000"	200'
C	20.000"	1
D	20.000"	1
E	20.000"	1
F	20.000"	0
G	20.000"	0
H	20.000"	1
J	20.000"	1
K	20.000"	1
L	ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. INSTALLATION PER AP 1104 STANDARDS LATEST EDITION
2. CODES THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 500' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION.
5. TO ACHIEVE ABOVE-GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREDN PIPELINE CROSSINGS (UNLESS OTHERWISE NOTED).
7. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
8. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
9. 8 HOUR HYDROTEST PERFORMED AT 2100 - 2210 PSI FOR 8 HOURS.
10. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
11. FIELD LEAK CHECKING: SP-2000 PER SEC. 9.0, DISCOVERY CONSTRUCTION SPECIFICATIONS.
12. DESIGN PRESSURE: 1440 psig.
13. DESIGN TEMP: 100°F.
14. WAP @ 200PSIG: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

LOCATION: SECTIONS 5 & 6 T01S R63W 6TH PM

PROJECTION: COLORADO STATE PLANE, NADES NORTH ZONE, US FOOT (GSD)

LEGEND

	PERMANENT R.O.W.		POWER POLE
	TEMPORARY WORKSPACE		TRANSMISSION TOWER
	EXISTING PIPELINE		LIGHT POLE
	PROPOSED PIPELINE ALIGNMENT		CLAY MINE
	APPROX. CROSS-SECTION DEVICE		WATER VALVE
	OVERHEAD POWER LINE		IRRIGATION VALVE
	SECONDARY SEWER LINE		SIGN
	RAILROAD		CATTLE GUARD
	TELEPHONE LINE		LIGHT POLE
	FIBER OPTIC LINE		CULVERT
	UNDERGROUND ELECTRIC		SUNDRY SEWER MANHOLE
	SECTION LINE		TREE
	QUARTER LINE		CLEAN OUT
	SIXTEENTH LINE		
	PROPERTY LINE		
	FENCE		
	DITCH		
	RIGHT OF WAY		
	EDGE OF TRAIL		
	EDGE OF ROAD		
	EDGE OF GRAVEL		
	CONCRETE		
	EDGE OF ASPHALT		

REFERENCED DRAWINGS

ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION
A	UPDATE ROUTE			

DRAWING REVISIONS

NO.	DATE	BY	CHK	APP'D	DESC
1	07/02/18	RWC	DWC		

DISCOVERY
MIDSTREAM PARTNERS

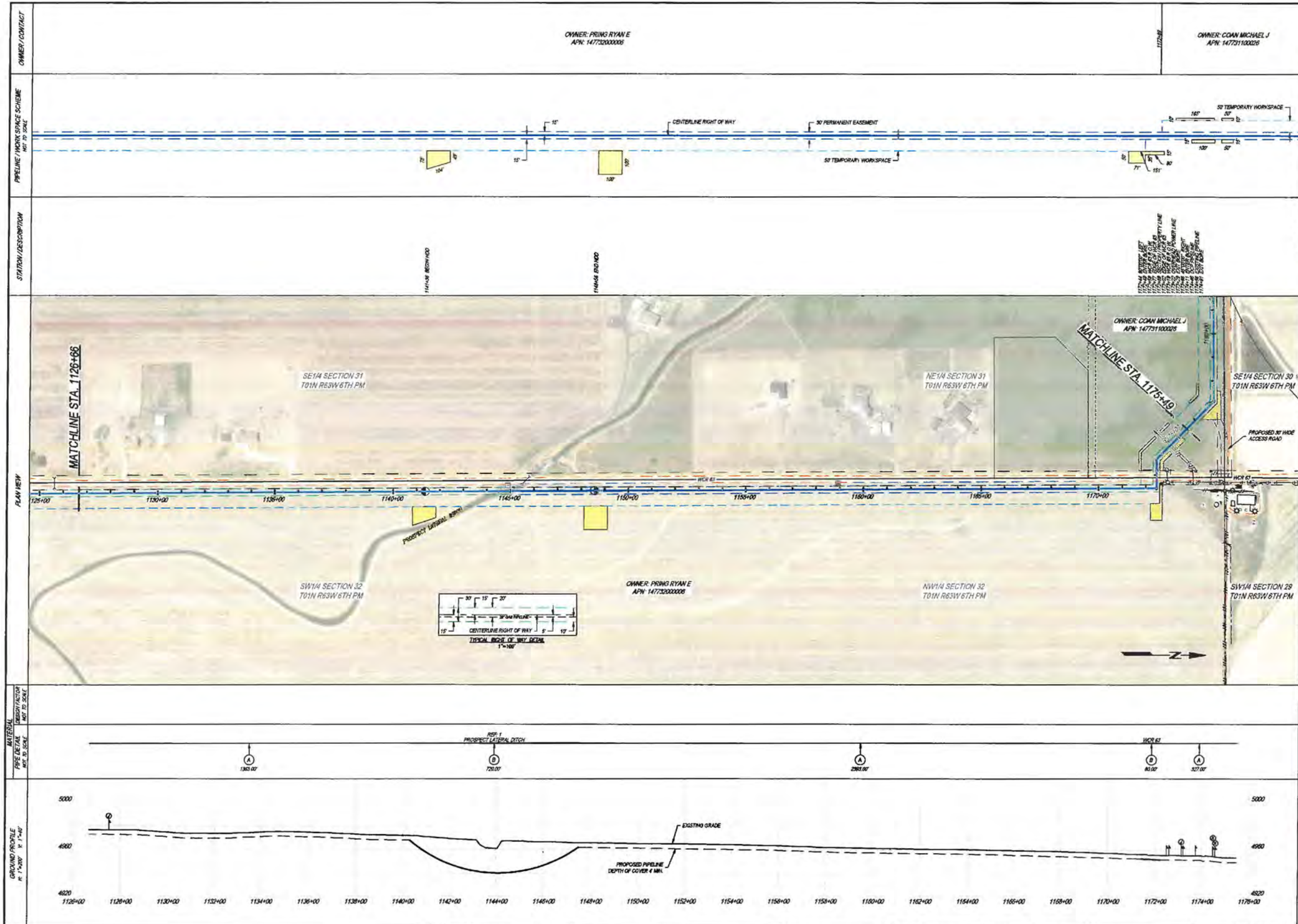
Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE 67H10-DJ3
STA. 1074+79 TO STA. 1126+66

PROPOSED 20" GAS PIPELINE

SHEET: 23 OF 26
WTS-023

NOTES:
 1. LOCATIONS OF UTILITIES AND EXISTING PIPELINES WERE DETERMINED FROM MOBILE SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OWNER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 2. ALL ELEVATIONS SHOWN HEREON ARE BASED ON CIP'S OBSERVATIONS AND/OR THE CHANGING POSITIONING USER SERVICE OFFERED BY THE N.G.S. AND PROJECTED TO TOLLROAD COORDINATE SYSTEM OF 1983 NORTH DATUM (NAD83). 3D-20-102 & 100' DISTANCES SHOWN HEREON ARE IN US SURVEY FEET ONLY. THE CORRECTION FACTOR USED TO OBTAIN THE GRID DISTANCE IS 0.99972885.
 3. THE PROPOSED PIPELINE AND EXISTING PROFILE, IF SHOWN, IS INCLUDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.



BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.375" SMLS/ERW, CS API 5L, POLY 2-45, BME, 12-14 MILS FEE COATED)	4083'
B	20.000"	20.000" O.D. PIPE (0.500" SMLS/ERW, CS API 5L, POLY 2-45, BME, AND COATED)	800'
C	20.000"	ELBOW, 90 DEG, 3R, SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, POLY, ERW, OR X-52	1
D	20.000"	ELBOW, 45 DEG, 3R, SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, POLY, ERW, OR X-52	1
E	20.000"	ELBOW, 30 DEG, 3R, SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, POLY, ERW, OR X-52	0
F	20.000"	ELBOW, 22.5 DEG, 3R, SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, POLY, ERW, OR X-52	0
G	20.000"	ELBOW, 15.0 DEG, 3R, SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, POLY, ERW, OR X-52	0
H	20.000"	ELBOW, 7.5 DEG, 3R, SEAMWELD BEND, STD WALL, CS, MSS-SP-75, OR Y-52, API 5L, POLY, ERW, OR X-52	0
J		TYPE I TEST STATION W/ MARKER	2
K		TYPE II TEST STATION W/ MARKER	2
L		ZINC RIBBON	0

FIELD NOTES

CONSTRUCTION:

1. HORIZONTALS: PER API 1104 STANDARDS LATEST EDITION
2. CODES: THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
3. TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLES DURING CONSTRUCTION. TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
5. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
6. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
7. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
8. 8 HOUR HYDROTEST PERFORMED AT 2160 - 2210 PSI FOR 8 HOURS.
9. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
10. FIELD LEAK COEFFICIENT: SP-2888 PER SEC. 9.9, DISCOVERY CONSTRUCTION SPECIFICATIONS.
11. DESIGN PRESSURE: 1440 psig.
12. DESIGN TEMP: 100°F
13. ANOP @ 2085MS: GAS-1440 psig.

SCALE & PROJECTION

SCALE: 1"=200'

PROJECTION: COLORADO STATE PLANE, NAD83
NORTH ZONE, US FOOT (GND)

LEGEND

- PERMANENT R.O.W.
- TEMPORARY WORKSPACE
- EXISTING PIPELINE
- PROPOSED PIPELINE ALIGNMENT
- APPROX. CROSSING CONTROL DEVICE
- OVERHEAD POWER LINE
- SAWDRY SEWER LINE
- UNDERGROUND ELECTRIC
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- PROPERTY LINE
- FENCE
- DITCH
- RIGHT OF WAY
- EDGE OF TRAIL
- EDGE OF ROAD
- EDGE OF GRAVEL
- CONCRETE
- EDGE OF ASPHALT
- ADDITIONAL TEMPORARY WORKSPACE
- PIPELINE MARKER
- TEST STATION
- DRILL ENTRY/EXIT
- POINT OF INTERSECTION
- TEST STATION/SP
- TEST STATION
- TELEPHONE/FIBER OPTIC/CABLE PEDESTAL
- MAN BOX
- GAS METER
- WELL
- MONITORING WELL
- BOLLARD
- MARKER
- POWER POLE
- TRANSMISSION TOWER
- LIGHT POLE
- GRY BIRE
- WATER VALVE
- IRRIGATION VALVE
- SIKH
- CATTLE GUARD
- LIGHT POLE
- CHURN
- SAWDRY SEWER MANHOLE
- TREE
- CLEAN OUT

NOTES

1. LOCATIONS OF UTILITIES AND TRENCH PROFILES WERE DETERMINED FROM VISUAL SURFACE EVIDENCE. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE NOT TO BE USED FOR CONSTRUCTION.
2. NEAREST SHOWN HEREIN ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE A.G.S. AND PROJECTED TO COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (CLAS. 38-52-100 & 100) DISTANCES SHOWN HEREIN ARE IN US SURVEY FEET SCALE. THE CORRECTION FACTOR USED TO OBTAIN THE GRID COORDINATES IS 0.999999999.
3. THE PROPOSED PIPELINE AND DRILLING PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TRENCH CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

REFERENCED DRAWINGS		DRAWING REVISIONS				SCALE: 1"=200'	
ID	DRAWING NUMBER	NO.	DESCRIPTION	BY	CHK	APVD	DATE
T	780	A	UPDATE ROUTE	RWC	DWC		07/22/18

DATE: 03/20/18
JOB No.: 170012
JOB NAME: WATKINS
DRAWING: RWC
CHK: DWC
REV: A
APP: G7810-DJ3

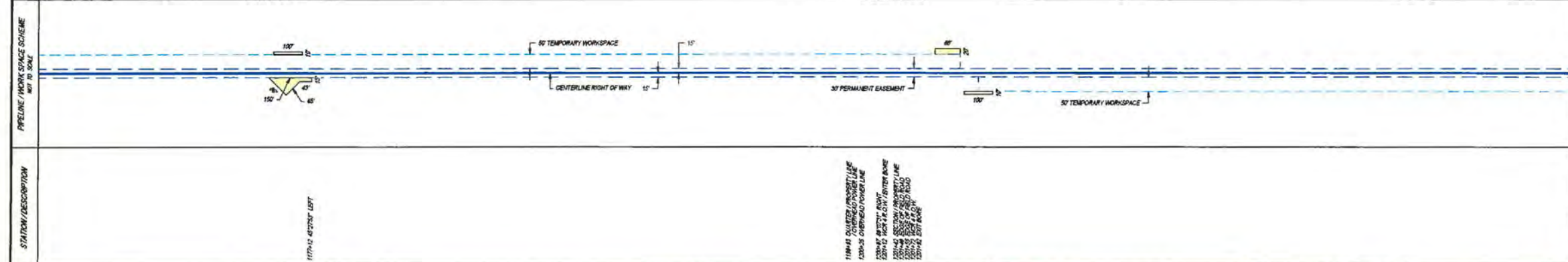
DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80801

DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE G7H10-DJ3
STA. 1126+66 TO STA. 1175+49

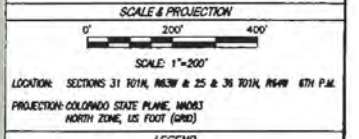
PROPOSED 20" GAS PIPELINE

SHEET: 24 OF 26
WTS-024



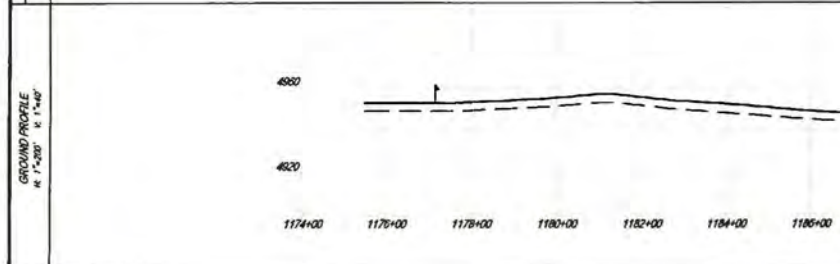
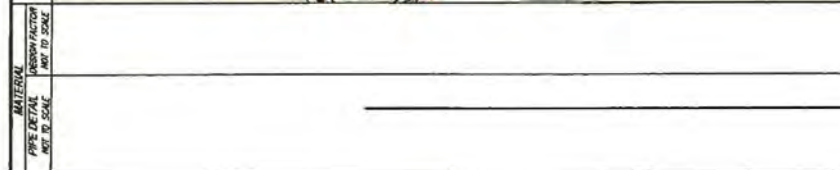
BILL OF MATERIALS			
ID	SIZE	DESCRIPTION	QUANTITY
A	20.000"	20.000" O.D. PIPE (0.375" SMLS/ENR, CS API 5L, PS2, X-45, BBE, 12-14 MILS FSC COATED)	3842'
B	20.000"	20.000" O.D. PIPE (0.500" SMLS/ENR, CS API 5L, PS2, X-45, BBE, AND COATED)	80'
C	20.000"	ELEVON, 90 DEG. SR. SEIGNORABLE BEND, STD MWLL, CS, MSS-SP-75, GR. 1-52, API 5L, PS2, ENR, GR. X-52	1
D	20.000"	ELEVON, 45 DEG. SR. SEIGNORABLE BEND, STD MWLL, CS, MSS-SP-75, GR. 1-52, API 5L, PS2, ENR, GR. X-52	1
E	20.000"	ELEVON, 30 DEG. SR. SEIGNORABLE BEND, STD MWLL, CS, MSS-SP-75, GR. 1-52, API 5L, PS2, ENR, GR. X-52	0
F	20.000"	ELEVON, 22.5 DEG. SR. SEIGNORABLE BEND, STD MWLL, CS, MSS-SP-75, GR. 1-52, API 5L, PS2, ENR, GR. X-52	0
G	20.000"	ELEVON, 15.0 DEG. SR. SEIGNORABLE BEND, STD MWLL, CS, MSS-SP-75, GR. 1-52, API 5L, PS2, ENR, GR. X-52	0
H	20.000"	ELEVON, 12.5 DEG. SR. SEIGNORABLE BEND, STD MWLL, CS, MSS-SP-75, GR. 1-52, API 5L, PS2, ENR, GR. X-52	0
J		TYPE I TEST STATION W/ MANHOLE	1
K		TYPE II TEST STATION W/ MANHOLE	0
L		ZINC RIBBON	0

- FIELD NOTES**
1. PROJECTIONS: PER API 1104 STANDARDS LATEST EDITION
 2. CROSS THIS PIPELINE(S) INSTALLED UNDER THE FOLLOWING:
 - A. 49 CFR 192
 - B. ALL APPLICABLE PERMITS
 - C. COMPANY STANDARDS
 3. TEST STATIONS WILL BE INSTALLED EVERY 5200' UNLESS OTHERWISE SPECIFIED.
 4. PIPELINE LINE MARKERS WILL BE INSTALLED AT EVERY ROAD CROSSING AND POINT OF INTERSECTION AND WITHIN LINE OF SIGHT.
 5. UNLESS OTHERWISE NOTED, PIPELINE SHALL BE INSTALLED A MINIMUM OF (10) FEET FROM DISTRIBUTION POWER POLE. IN CASES WHERE A MINIMUM OF (10) FEET CANNOT BE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING POWER POLLS DURING CONSTRUCTION.
 6. TO ACHIEVE ABOVE GROUND SUPPORT ELEVATIONS, CONTRACTOR TO FIELD BEND PIPE AS NECESSARY.
 7. DRILL PROFILE INTENDED AS A GUIDE ONLY. DRILLER IS RESPONSIBLE FOR FINAL PROFILE.
 8. PIPELINE TO BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24" AT ALL FOREIGN PIPELINE CROSSINGS UNLESS OTHERWISE NOTED.
 9. PIPELINE TO BE INSTALLED WITH A MINIMUM DEPTH OF 48" UNLESS OTHERWISE NOTED.
 10. 8 HOUR HYDROTEST PERFORMED AT 2180 - 2210 PSI FOR 8 HOURS. TESTING MUST ACHIEVE NO PRESSURE LOSS FOR THE LAST TWO HOURS OF HYDROTEST.
 11. FIELD JOINT COATING: SP-2000B PER SEC. 8.8, DISCOVERY CONSTRUCTION SPECIFICATIONS.
 12. DESIGN PRESSURE: 1440 psig.
 13. DESIGN TEMP: 100°F
 14. WJOP @ 200PSIG: GAS-1440 psig.



LEGEND

	PERMANENT R.O.W.		POWER POLE
	TEMPORARY WORKSPACE		TRANSMISSION TOWER
	EXISTING PIPELINE		LIGHT POLE
	PROPOSED PIPELINE ALIGNMENT		GUY WIRE
	APPROX. EROSION CONTROL DEVICE		WATER VALVE
	OVERHEAD POWER LINE		IRRIGATION VALVE
	SANITARY SEWER LINE		MAN BOX
	RAILROAD		GAS METER
	TELEPHONE LINE		WELL
	FIBER OPTIC LINE		MONITORING WELL
	UNDERGROUND ELECTRIC		CULVERT
	SECTION LINE		SANITARY SEWER MANHOLE
	QUARTER LINE		TREE
	SIXTEENTH LINE		MARKER
	PROPERTY LINE		CLEAN OUT
	FENCE		
	DITCH		
	RIGHT OF WAY		
	EDGE OF TRAIL		
	EDGE OF ROAD		
	EDGE OF SHOULDER		
	CONCRETE		
	EDGE OF ASPHALT		
	ADDITIONAL TEMPORARY WORKSPACE		



REFERENCED DRAWINGS

ID	DRAWING NUMBER	TITLE	NO.	DESCRIPTION
1	TBD	PROSPECT LATERAL DITCH	A	UPDATE ROUTE

DRAWING REVISIONS

NO.	BY	CHK	APPD	DATE	DESCRIPTION
	RWC	DWC		07/02/18	

DISCOVERY
MIDSTREAM PARTNERS

Acklam, Inc.
133 S. 27th Avenue
Brighton CO, 80601

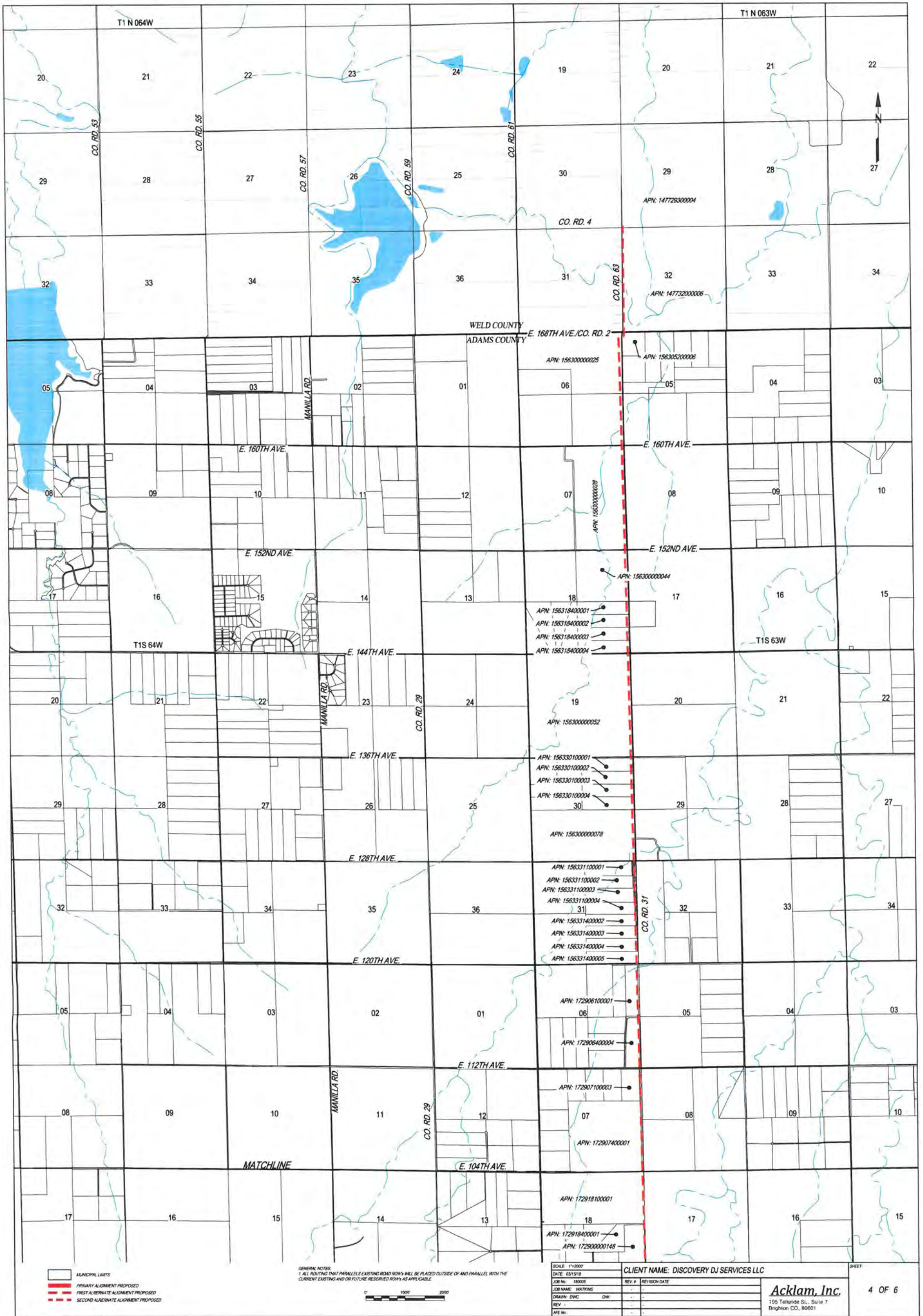
DISCOVERY DJ SERVICES LLC
WATKINS 20" GAS AFE 6TH-10/DJ3
STA. 1175+49 TO STA. 1214+71

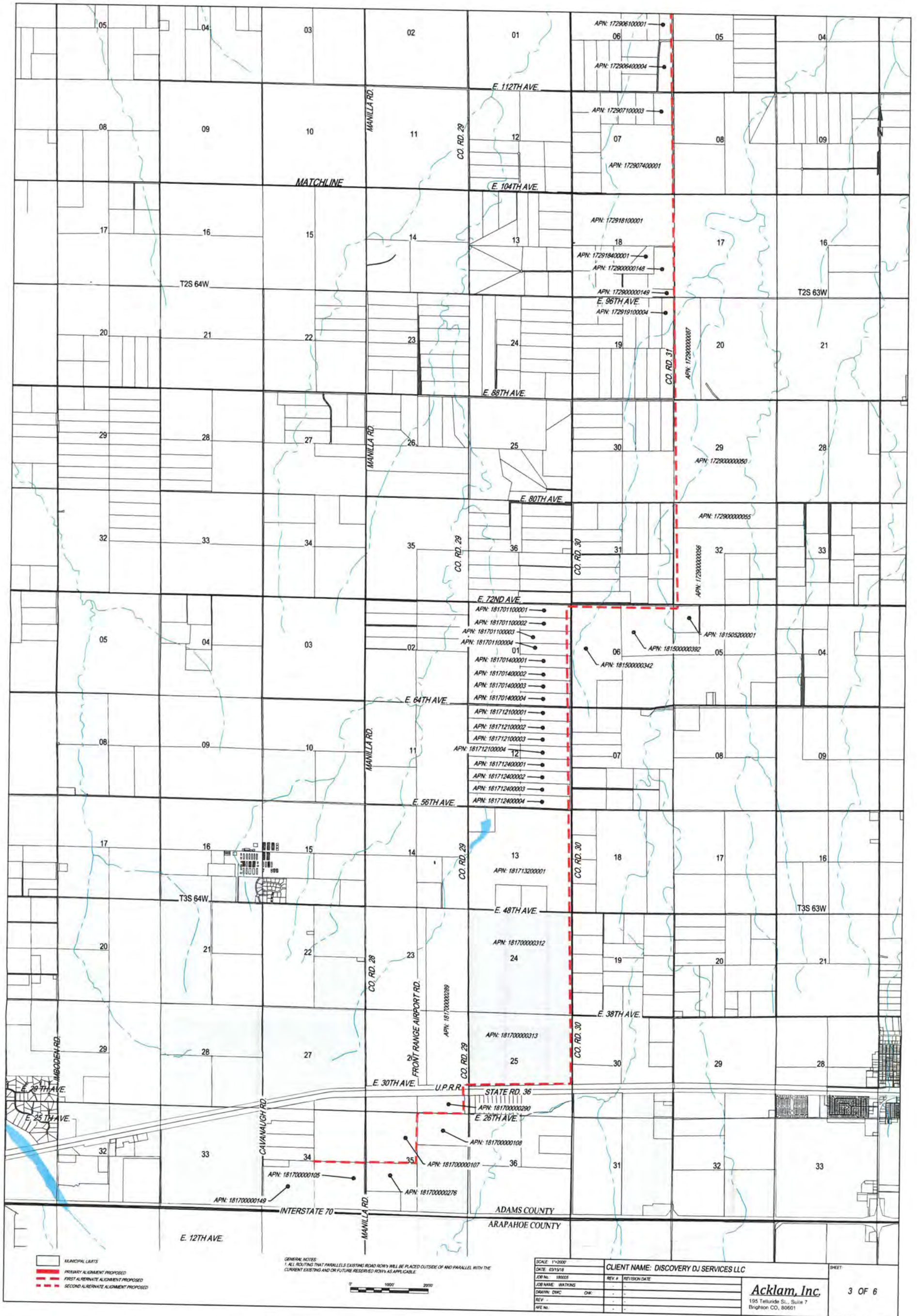
PROPOSED 20" GAS PIPELINE

SHEET: 25 OF 26
WTD-025

NOTES

1. LOCATIONS OF STRIPES AND FOREVER PAVED ARE DETERMINED FROM MOBILE SURFACE CHECKS. THESE LOCATIONS AS SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY OTHER MEANS TO LOCATIONS.
2. REVISIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE A.I.C.S. AND PROJECTED TO TOLLROAD COORDINATE SYSTEM OF 1983 NORTH ZONE (GCS, 30-52-103 & 104) DATUMS SHOWN HEREON ARE IN US SURVEY FEET UNIT. THE COMBINED FACTOR USED TO DERIVE THE GRID DATUMS IS SHOWN.
3. THE PROPOSED PIPELINE AND GROUND PROFILE, IF SHOWN, IS INTENDED TO REPRESENT TYPICAL CLEARANCES FOR PERMITTING PURPOSES. THE VERTICAL POSITION IS NOT BASED ON AN ENGINEERING DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.





[Red dashed line symbol] MUNICIPAL LIMITS
 [Red dashed line symbol] PRIMARY ALIGNMENT PROPOSED
 [Red dashed line symbol] FIRST ALTERNATE ALIGNMENT PROPOSED
 [Red dashed line symbol] SECOND ALTERNATE ALIGNMENT PROPOSED

GENERAL NOTES:
 1. ALL ROUTING THAT PARALLELS EXISTING ROAD ROWS WILL BE PLACED OUTSIDE OF AND PARALLEL WITH THE CURRENT EXISTING AND/OR FUTURE RESERVE ROWS AS APPLICABLE.

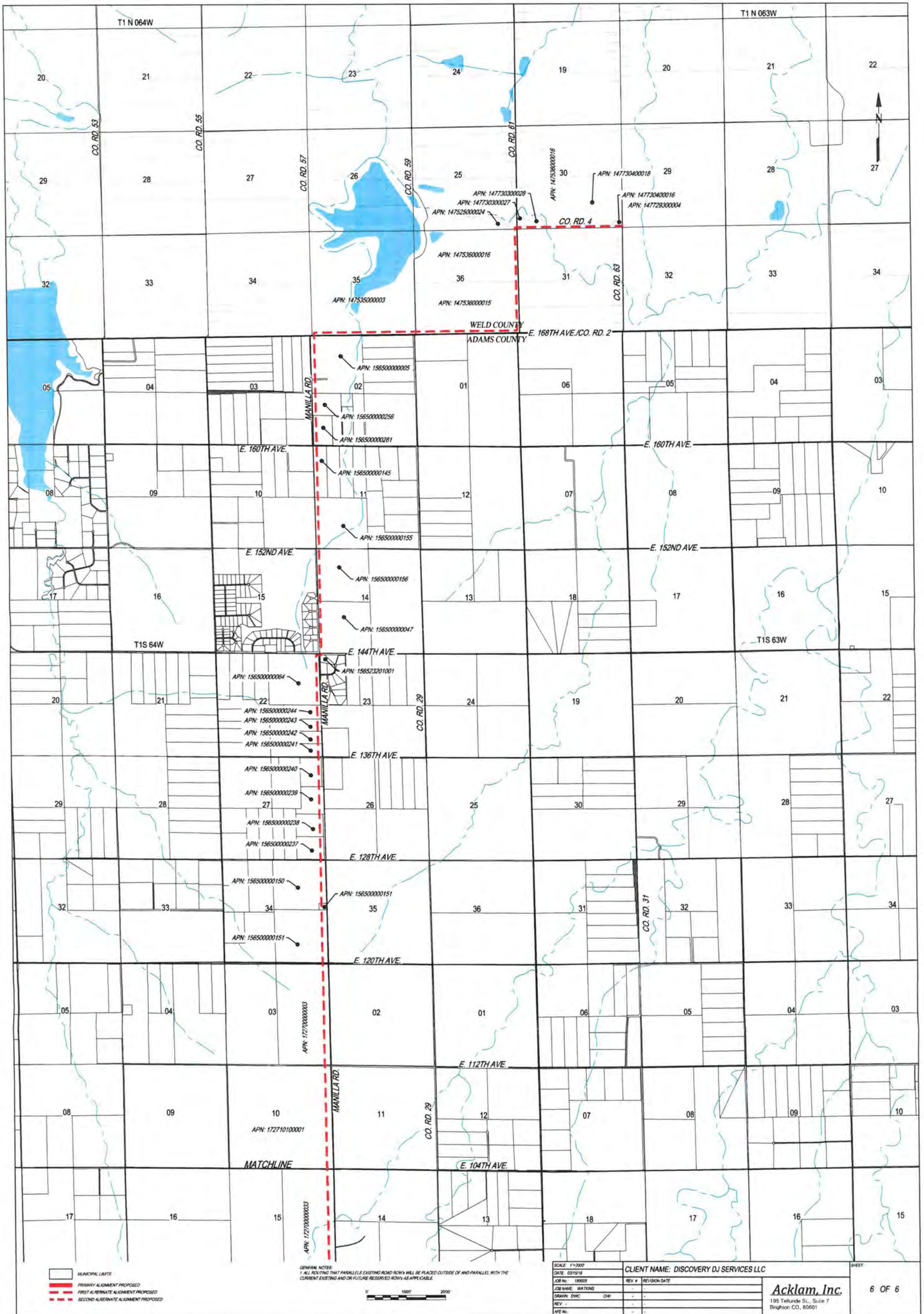


SCALE: 1"=200'
 DATE: 03/15/18
 JOB NO: 180205
 JOB NAME: WATKINS
 DRAWN: DMC
 REV: -
 AFE NO: -

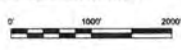
CLIENT NAME: DISCOVERY DJ SERVICES LLC
 REV # REVISION DATE

Acklam, Inc.
 195 Telluride St., Suite 7
 Brighton CO, 80601

Z:\Action_Plan\2017\Discovery\MapSheet\117012 - Water EOG\Map\Drawings_117012_Cover_Application.dwg 3/21/2018 2:50:32 PM



GENERAL NOTES:
 1. ALL ROUTING THAT PARALLELS EXISTING ROAD ROWS WILL BE PLACED OUTSIDE OF AND PARALLEL WITH THE CURRENT EXISTING AND ON FUTURE RESERVED ROWS AS APPLICABLE.



SCALE: 1"=2000'	CLIENT NAME: DISCOVERY DJ SERVICES LLC
DATE: 03/15/18	REV # REVISION DATE
JOB No: 180003	- -
JOB NAME: WATONS	- -
DRAWN: DMC	CHK: - -
REV: -	- -
APP: -	- -

Acklam, Inc.
 195 Telluride St., Suite 7
 Brighton CO, 80601



[Symbol] MUNICIPAL LIMITS
 [Symbol] PRIMARY ALIGNMENT PROPOSED
 [Symbol] FIRST ALTERNATE ALIGNMENT PROPOSED
 [Symbol] SECOND ALTERNATE ALIGNMENT PROPOSED

GENERAL NOTES
 1. ALL ROUTING THAT PARALLELS EXISTING ROAD ROWS WILL BE PLACED OUTSIDE OF AND PARALLEL WITH THE CURRENT EXISTING AND OR FUTURE RESERVED ROWS AS APPLICABLE.



SCALE: 1"=200'	CLIENT NAME: DISCOVERY DJ SERVICES LLC	SHEET:
DATE: 03/15/18	REV #	REVISION DATE
JOB NO: 180001	REV #	REVISION DATE
JOB NAME: WATKINS	REV #	REVISION DATE
DRAWN: DWG	CHK:	
REV: -	CHK: -	
A/E: -	CHK: -	
Acklam, Inc. 195 Telluride St., Suite 7 Brighton CO, 80601		5 OF 6

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT ("**Agreement**") is made and entered into by and between the COUNTY OF ADAMS, a political subdivision of the State of Colorado, hereinafter called "**County**," and DISCOVERY DJ SERVICES, LLC, a Texas limited liability company, 7859 Walnut Hill Lane, Suite 335, Dallas, TX, 75230, hereinafter called "**Developer**."

WITNESSETH:

WHEREAS, Developer desires to construct approximately 21 miles of underground steel pipelines and appurtenances in Adams County, Colorado, as more particularly described in that certain Conditional Use Permit Application dated June 14, 2018 to transport wet natural gas and crude oil ("**the Project**"); and

WHEREAS, on June 14, 2018, Developer submitted an application for a Conditional Use Permit ("CUP") to Adams County in accordance with the requirements outlined in Chapter 2 of the Adams County Development Standards and Regulations ("**the Regulations**"), the Conditional Use Permit Checklist, and requested submittal criteria from the Adams County Areas and Activities of State Interest ("**AASI**") Checklist; and

WHEREAS, Developer will acquire, if it has not already done so, all necessary right-of-way easements and temporary construction easements to utilize certain real property in the County of Adams, State of Colorado; and

WHEREAS, the County has designated its future road expansion plans in the Adams County Transportation Plan adopted November 2012 ("**Transportation Plan**"); and

WHEREAS, the County and the Developer have planned and designed the Project, so it will not prohibit future development, and so that it will not add cost to the County's future infrastructure plans to support development.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

I. DEVELOPER'S OBLIGATIONS:

1. Pre-Construction Activities. Prior to site disturbance and commencing construction in the County, Developer Shall:
 - a. Submit construction plans to the Adams County One Stop Permit Counter and apply for the appropriate construction permits.
 - b. In the event that any portion of the project is located within the MS4 permit boundary of unincorporated Adams County and greater than 1 acre of disturbance, a Stormwater Management Plan ("SWMP") will need to be prepared according to County standards. Moreover, surety will be required for Best Management Practices ("BMP") located within the MS4 boundary. Stormwater BMPs will be implemented for the construction phase to capture and treat all onsite Stormwater runoff in accordance with the requirements for the SWMP.
 - c. Prepare a Traffic Control Plan for the portion of the project within Unincorporated Adams County and obtain written approval of the plan from the Adams County Transportation Department prior to the commencement of construction. The Traffic Control Plan shall detail any impacts to the applicable right-of-way during the construction of the Project, including but not limited to, lane closures, access to construction staging sites, hours of operation, etc. The Traffic Control Plan shall be prepared in a way to minimize impacts to adjacent property owners during the construction period. The Developer shall be responsible to implement any necessary corrections of the Traffic Control Plan.
 - d. Secure all applicable local, state and federal permits for the Project and submit copies of these permits to the County.
 - e. Secure Adams County Right-of-Way permits prior to constructing crossings.
 - f. Submit copies of all executed easements for the Project to the County.
 - g. Contact and use commercially reasonable efforts to work with Xcel Energy and United Power regarding any possible encroachment the Project may have on Xcel Energy's or United Power's pipeline(s) or related facilities.

2. Construction Activities. During construction, the Developer shall:
- a. Construct the project in accordance with the approved construction plans. The Developer shall submit a certification letter from a Professional Engineer within 45 days of construction completion certifying that the Project was constructed in accordance with the approved plans.
 - b. Manage Stormwater in accordance with a SWMP prepared under the Colorado Department of Public Health and Environment ("CDPHE") Colorado Discharge Permitting System ("CDPS") Permit and in accordance with the Clean Water Act National Pollution Discharge Elimination System ("NPDES") regulations and Adams County's Grading Erosion and Sediment Control standards. Stormwater BMPs will be implemented for the construction phase to capture and treat all onsite Stormwater runoff in accordance with the requirements for the SWMP.
 - c. Operate at the Project site will be Monday through Sunday.
 - d. Implement the approved Traffic Control Plan.
 - e. Comply with guidelines of Section 106 of the National Historic Preservation Act of 1966 in locations that have been identified as federally regulated within Adams County. Comply with State of Colorado Historical, Paleontological, and Archeological Resources Act of 1973 (C.R.S. 24-80-401 to 410) on all identified state lands within Adams County. All best management practices and avoidance measures proposed within the submitted CUP on lands that are state and federally regulated by the above listed laws will be enforced.
 - f. Comply with the terms of the Project's Air Pollution Emissions Notice ("ASPEN") issued by CDPHE.
 - g. Comply with C.R.S. 42-4-1407, covering loads for all hauling/construction trucks.
 - h. Be responsible for the cleanliness and safety of all roadways adjacent to the Project in the event that there are any issues related to the Project during construction. If at any time these roadways are found to be dangerous or not passable due to debris or mud caused by Project activities, the County shall require Developer to cease Project operations immediately and clear the roadway of any and all debris our mud. The Project shall not resume until the County, in its sole discretion, deems the roadway conditions acceptable. If the Developer fails to keep the adjacent roadways clean and free from debris, the Adams County Transportation Department has the option to perform the required clean up and bill the charges directly to the Developer.

The Developer shall be responsible for repairing County infrastructure that is damaged as a result of the construction from the Project. Repairs shall occur as soon as possible, but no later than six (6) months following construction completion, unless an extension is granted by the County for extenuating circumstances. The Developer may submit evidence of the condition of the County's right-of-way at the start and completion of construction in order to demonstrate the pre-construction condition and the post-construction condition of the roadway.

- i. Remove and dispose of all fluid spills, such as hydraulic oil from maintenance of equipment, at a facility permitted for such disposal.
- j. Convey all complains Developer receives concerning off-site impacts and the resolution of those complaints to the Adams County Department of Community and Economic Development. Off-site impacts shall be responded to and resolved immediately by the Developer. Adams County Community and Economic Development will be the final decision maker regarding the resolution of noise complaints or any other off-site impacts, provided that Developer is provided notice and an opportunity to be heard. Excessive complaints that are not resolved to the satisfaction of the County may be justification for a Show Cause Hearing before the Adams County Board of County Commissioners.
- k. Ensure that all construction vehicles have a backup alarm that complies with OSHA requirements, 29 CFR 1926.01(b)(4) and 1926.602(a)(9), and/or other remedies (such as flagmen) to minimize noise as approved by the County.
- l. If fuel will be stored on the subject properties or within the County's right-offered on the subject properties or will be implemented: All fuel storage at this site shall be provided with secondary containment that complies with state law and any appropriate regulatory standards; fueling areas shall be separated from the rest of the site's surface area, and protected from storm water; and Developer shall provide a spill prevention plan and release prevention plan for fuel storage and fueling operations. Spill and drip containment pans shall be emptied frequently, and all spills shall be cleaned up and disposed of immediately at a facility permitted for such disposal.

Developer shall notify the County prior to commencing any snow removal operations within the County's right-of-way. The Developer shall be responsible for any damages to the right-of-way caused by these activities and shall repair damages at their expense within 60 days of receiving notice from the County.

- m. Screen any storage or staging lots from adjacent residential properties within 100 ft.
- n. Comply with all applicable local, state and federal requirements during the course of the project.

- o. Comply with the guidelines suggested by Colorado Parks and Wildlife as identified in the June 11, 2018 letter.
- p. Comply with the recommendations of the Tri-County Health Department letter dated June 26, 2018.

3. Design Requirements.

- a. The Project will be designed to meet or exceed the minimum Federal Safety Standards contained in 49 CFR 195 / 49 CFR 192, as applicable, and national engineering design codes for pipelines set forth by the American Society of Mechanical Engineers.
- b. Pipeline burial depths will meet or exceed federal, state, and applicable engineering standards. The pipelines will be buried with a minimum of 48-inches of cover where practical, and in locations where such burial depth is not achievable due to strategic locations such as road crossings, additional mechanical protection will be provided, such as increased pipe wall thickness, as approved by the County and referenced within this Agreement.
- c. Any construction of structures will be designed to meet the 2012 International Fire Code and amendments.
- d. Ensure pipelines are located in easements on private property and County road crossings shall be as near as possible to right angles. This effective placement of the pipeline allows buildings to be constructed in the future keeping with required structure setbacks per Transportation Plan.

4. Operational Requirements.

- a. The Project will be operated to Federal Safety Standards contained in 49 CFR 195 / 49 CFR 192 as well as the Developer's operating standards and practices and maintenance procedures as referenced within the Developer's CUP application materials submitted to the County for the Project.
- b. The steel pipelines will have a corrosion prevention system as detailed within the Developer's CUP application materials submitted to the County for the Project.
- c. The Project will have a multi-faceted integrity management program as required under federal pipeline safety standards (49 CFR 195 and ASME B314.4, 49 CFR 192 and ASME B31.8). The Project will be operated in accordance with all
- d. applicable local, state and federal codes, laws and regulations, including but not limited to the Colorado Department of Transportation ("CDOT") and CDPHE.

5. Post-Construction and Maintenance Requirements.

- a. Developer agrees to restore any disturbed County-owned lands in compliance with the requirements of applicable easement agreements as soon as possible but no later than 30 days after completion of the project. In the event that reseeded is unsuccessful in the first growing season, the Developer agrees to comply with the terms of the easement agreements to restore the land during the subsequent growing season. The County may grant an extension for good cause, in writing, in the event of unforeseen circumstances.
- b. Developer agrees to restore any disturbed private property in accordance with the applicable easement agreements as soon as possible but no later than 30 days after the completion of the project. In the event that reseeded is unsuccessful in the first growing season, the Developer agrees to comply with the terms of the easement agreements to restore the land during the subsequent growing season. The County may grant an extension for good cause, in writing, in the event of unforeseen circumstances.
- c. Construction plans submitted by the Developer to the County for the Project show the pipeline located completely outside of the future right-of-way as depicted in the Adams County 2012 Transportation Plan. In the event that the pipeline is not constructed in accordance with the construction plans approved by the County and there becomes a conflict with a future roadway expansion project, as the project is contemplated under the Transportation Plan, the Developer agrees to relocate the pipeline at its own expense.
- d. The Developer also agrees that the approval of encroachment agreement requests for parking lots and driveways on private property shall not be unreasonably or arbitrarily withheld, in accordance with the terms of the easement agreements for the Project.
- e. Developer agrees that it will not disrupt or damage the functionality of any existing drainage facilities.
- f. Developer agrees to submit "as built" construction drawings to the Adams County Assessor's Office within 120 days of construction completion in accordance with the procedures established by the County.
- g. Developer agrees to submit emergency contact information, emergency response plans, and final maps of the Project, including all associated valves and pipeline components, to the local fire districts encompassing the Project and to the Adams County Office of Emergency Management before commencing operation of the pipeline. The Developer shall comply with all other requests for information from the Adams County Office of Emergency Management in accordance with local, state and federal law.

- h. Maintenance of the Project will follow guidelines set forth in the Developer's operations and maintenance procedures (referenced in Section 4C of this Agreement), which meet or exceed regulatory requirements. Maintenance activities associated with the lines and permanent easement include, but are not limited to, the following:
- Implementation of a damage prevention program including observation of any construction activities by others on or near the permanent easement;
 - Implementation of a public education program;
 - Installation and maintenance of pipeline markers;
 - Inspection and maintenance of corrosion control systems;
 - Inspection of block valves;
 - Inspection of crossings by other pipelines, highways, utilities;
 - Inspection and maintenance of safety, control, mechanical, and electrical equipment;
 - Maintenance of communication equipment; and
 - Calibration of all instruments to comply with USDOT regulations.
6. Development Impact Fees. There are no development fees associated with this Project.
7. Encroachment Upon Future Right-of-Way. In any segment of the Project that is parallel to an Adams County right-of-way, the pipeline shall be constructed a minimum of five (5) feet from the edge of the maximum future right-of-way width, as designated in the Adams County 2012 Transportation Plan.
- As development of the Transportation Plan is implemented and if the location and existence of Developer's permanent easement precludes such development, Developer's overlapping easement rights shall be subordinated (subject to the then-existing rights of the parties, laws and regulations) to accommodate Adams County's development.
8. Acceptance and Maintenance of Public Improvements. Developer is not required to make any public improvements or make any public dedications in connection with the Project.
9. Guarantee of Compliance. Developer hereby agrees that should it fail to comply with the terms of this Agreement, the County is entitled to obtain from the Colorado State District Court for the Seventeenth Judicial District a mandatory injunction requiring said Developer to comply with the terms of this Agreement. Prior to the County seeking such an injunction, Developer will be provided the opportunity to cure any default in accordance with the terms set forth herein. Developer further agrees that failing to comply with the requirements set

forth in this Agreement may be justification for a Show Cause Hearing where the CUP Permit may be revoked.

10. Financial Security. The County has determined that there is no need for a guarantee of financial security with regards to this Project.
11. Successors and Assigns. This Agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property.

II. COUNTY'S OBLIGATIONS:

Except as expressly set forth herein, the County shall have no obligations associated with this Agreement.

III. GENERAL PROVISIONS:

1. No Third-Party Beneficiaries. This Agreement is intended to describe and determine such rights and responsibilities only as between the parties hereto. It is not intended to and shall not be deemed to confer rights or responsibilities to any person or entities not named hereto.
2. Notices. Any and all notices, demands or other communications desired or required to be given under any provision of this Agreement shall be given in writing and delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid or by email address as follows:

To Developer:

Discovery DJ Services, LLC
7859 Walnut Hill Lane, Suite 335
Dallas, TX 75230

To Adams County:

Director, Adams County Community and Economic Development
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601

With a copy to:

Adams County Attorney
4430 South Adams County Parkway, 5th Floor, Suite C500B
Brighton, CO 80601

3. Amendments.
Should any changes to the Conditional Use Permit be proposed before, during or after completion of the project, the Developer shall submit the details of those changes to the Adams County Community and Economic Development Director for a determination as to whether those changes constitute a Major or Minor Amendment in accordance with the Regulations.

This Agreement may only be modified amended, changed or terminated in whole or in part by an agreement in writing duly authorized and executed by the parties hereto with the same formality, and subject to the same statutory and regulatory requirement, as this Agreement.

4. Controlling Law. This Agreement and its application shall be construed in an accordance with the laws of the State of Colorado.

5. Default. If either party is in default under this Agreement, the non-defaulting party shall provide written notice of said defaulting party to the address provided in Section 2 immediately above. The defaulting party shall have 30 days to cure the default, unless an extension is granted in writing by the non-defaulting party for good cause. The non-defaulting party may seek all remedies available pursuant to the Agreement and under the law.
6. Costs and Fees. In the event of any litigation arising out of this Agreement, the parties agree that each will pay its own costs and fees.

Developer

DISCOVERY DJ SERVICES, LLC, a Texas limited liability company.

By: Matthew T. Berghorn

Matthew T. Berghorn
Vice President, Engineering and Construction

ACKNOWLEDGMENT

STATE OF Colorado)
)
) ss.
COUNTY OF Adams)

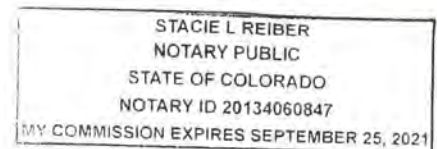
The foregoing instrument was acknowledged before me this 3 day of August 2018,
by Matthew T. Berghorn as Vice President, Engineering and Construction of Discovery DJ Services, LLC.

Witness my hand and official seal.

Stacie L. Reiber
Notary Public, State of Colorado

My Commission Expires: 9-25-2021

My Commission Number: 20134060847



APPROVED BY resolution at the meeting of _____, 2018.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLOARDO

Clerk to the Board

Chairperson



Development Review Team Comments

Date: 6/26/18

Project Number: RCU2018-00013

Project Name: Watkins Pipeline

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee will be required after the third review and upon submittal of the fourth review.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. REQUEST: A Conditional Use Permit for up to a 20-inch crude oil pipeline

- a. Preferred Route: 21.5 miles. Two alternative routes included (longer routes and more road crossings). Request includes Development Agreement.
- b. The line is to be located in permanent easement and buried a minimum of 48-inches.

PLN2. PROPERTY:

- a. Pipeline originates at 0181700000149 (proposed facility located in City of Aurora) and ends at 0147729300016 (compressor station in Weld County).
- b. Properties are designated Agriculture-3 (A-3), Industrial-1 (I-1), PUD, and Future Land Use designation is Mixed Use Employment and Agriculture. Buried pipeline and temporary construction should not negatively impact purpose of these designations and future development of the properties.

PLN3. COMMENTS:

- a. Staff received a public comment in opposition to the preferred alignment, specifically on parcel 0181734100001, from the property owner. Please respond to this comment.

- b. Please explain the temporary workspaces outlined on the site plans. What type of activity/ equipment, etc. And do you have easements from the property owners?
- c. Please explain why the permanent easement varies from 30 to 60 ft.
- d. Have you contacted the RR company regarding the proposed crossing? Please submit any correspondence or documentation regarding this crossing.
- e. Please update the table on in Section 14 for the Total Pipeline Length, it does not appear to be in miles.
- f. Any material imported for the backfilling of the trench requires a temporary use permit to review haul routes and ensure material source is uncontaminated.
- g. Please proposed hours of construction activity (not dawn to dusk).

PLN4. ANTICIPATED CONDITIONS OF APPROVAL:

- a. Development Agreement to address pre-construction requirements, construction and operational standards, etc.
- b. Submit all executed easement agreements along the approved route prior to issuance of construction or building permits.

Commenting Division: Development Services, Engineering:

Name of Review: Greg Labrie

Email: glabrie@adcogov.org

ENG1: The construction plans for the approved route must be submitted to Adams County Development Engineering for review and approval. The construction plans must be submitted with an Engineering Review Application along with the engineering review fee as described in the Adams County Fee Schedule.

ENG2: When the engineering review process is completed, the One Stop Permit Center will begin the construction permitting process. This process will include submitting the name of the construction contractor and securing the insurance and bond for the construction activity from the contractor. This process will also include the review and approval of traffic control plans for the project.

Commenting Division: Development Services, Right-of-Way:

Name of Review: Marissa Hillje

Email: mhillje@adcogov.org

ROW1: EASEMENTS: Pipelines should be located in easements on private property. Said easements should be placed outside of the ultimate Right-of-ways of County roads as delineated by the Adams County Transportation Plan, approved 2012.

ROW2: Encroachment upon Future Right-of-Way. In any segment of the Project that is parallel to an Adams County right-of-way, the pipeline shall be constructed a minimum of five (5) feet from the edge of the maximum future right-of-way width, as designated in the Adams County 2012 Transportation Plan.

ROW3: Crossings of County roads should be as near as possible to right angles and County Engineering staff should have opportunity to review. Permits to construct in the Right-of-way should be secured for constructing crossings of County roadways.

Commenting Division: Development Services, Building Safety:

Name of Review: Justin Blair

Email: jblair@adcogov.org

BSD1- No comment.



June 26, 2018

Emily Collins
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Watkins Pipeline, RCU2018-00013
TCHD Case No. 4986

Dear Ms. Collins,

Thank you for the opportunity to review and comment on the Conditional Use Permit to allow construction of a new crude oil pipeline, measuring approximately 20 inches in diameter originating approximately 3.45 miles east of Watkins and traveling northeasterly to near the Weld County border. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

On-Site Wastewater Treatment Systems

Houses and other buildings equipped with plumbing facilities on properties located along the preferred and alternate pipeline routes are serviced by Onsite Wastewater Treatment Systems (OWTS). Our review of the pipeline routes indicates that sections of the pipeline routes may encroach on OWTS on some properties. TCHD recommends that the applicant review the locations of the pipeline routes to determine if they may encroach on OWTS. If it appears that encroachment will occur, it may be necessary to revise the pipeline location or relocate the OWTS. TCHD can provide specific permit information and system diagrams on OWTS for the affected properties.

Groundwater Quality Protection

A scan of the area proposed for the pipeline routes indicates that there may be water wells on the properties where the pipeline(s) are located. Heavy equipment may inadvertently drive over wells during construction, causing damage that may expose the water in the wells to contamination. Where wells are within or close to pipeline routes, we recommend the applicant protect the wells by identifying the areas around wells so that they are visible to vehicle operators/construction crews. This can be accomplished by delineating the area around each well with stakes, colored tape or orange plastic netting.

If the pipeline routes cross over streams and/or wetlands, alluvial groundwater flow could be impacted if trenching intersects the shallow groundwater. If trench dewatering is necessary, the water will be pumped and discharged to alluvia/colluvial sediments

close to the stream channel. If discharge of groundwater is necessary during construction, a discharge permit from the Colorado Department of Public Health and Environment (CDPHE), Water Quality Control Division will be necessary

Protection of Above-Ground Valves

Above-ground valves may be damaged or vandalized once they are installed and placed into use. If above ground valves are to be utilized, the applicant should consider methods for ensuring the valve site is secure.

Sanitary and Solid Waste Disposal

The application does not specify how sanitary and solid waste will be provided during the construction for construction workers. We anticipate that trash dumpsters and portable toilets will be necessary during construction. TCHD has no objection to the use of portable toilets, provided they are properly maintained. TCHD recommends that the applicant address these, in terms of numbers, locations, and vendor.

Please feel free to contact me at 720-200-1585 or ahenrich@tchd.org if you have any questions on TCHD's comments.

Sincerely,



Annemarie Heinrich, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Dylan Garrison, TCHD

Emily Collins

From: Kuster - CDPHE, Kent [kent.kuster@state.co.us]
Sent: Monday, June 18, 2018 8:27 AM
To: Emily Collins
Subject: RCU2018-00013 Referral

June 18, 2018

Emily Collins, Case Manager
Community and Economic Development Department
4430 South Adams County Parkway, Suite W2000
Brighton, CO 80601-8218

Re: Case No. RCU2018-00013

Dear Emily Collins,

The Colorado Department of Public Health and Environment has no comment on Case No. RCU2018-000013 the Watkins Pipeline.

Please contact Kent Kuster at [303-692-3662](tel:303-692-3662) with any questions.

Sincerely,

Kent Kuster

Environmental Specialist

Colorado Department of Public Health and Environment

--

Kent Kuster



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Region
6060 Broadway
Denver, CO 80216
P 303.291.7227 | F 303.291.7114

June 11, 2018

Emily Collins
Adams County
Community and Economic Development Department
4430 South Adams County Parkway
Suite W2000A
Brighton, CO 80601-8216

RE: Watkins 20" Crude Oil Pipeline (Case Number RCU2018-00013)

Dear Ms. Collins:

Thank you for the opportunity to comment on the construction of a new 20-inch crude oil pipeline, in Adams County. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

District Wildlife Manager Serena Rocksund recently analyzed the project sites. The project location is surrounded by limited development, agricultural lands, and some residential single-family homes. Although development of the 20-inch pipeline will generally follow County Road 29, the site is proposed in rural agricultural lands and does hold value as wildlife habitat. The main impacts to wildlife from this development include fragmentation and loss of habitat. Fragmentation of wildlife habitat has been shown to impede the movement of wildlife across the landscape. Open space areas are more beneficial to wildlife if they connect to other natural areas. The areas of wildlife habitat that most closely border human development show heavier impact than do areas on the interior of the open space. However, when open space areas are smaller in size, the overall impact of the fragmentation is greater (Odell and Knight, 2001). By keeping open space areas contiguous and of larger size the overall benefit to wildlife increases dramatically.

CPW would expect a variety of wildlife species to utilize this site on a regular basis, most notably, small to mid-sized mammals, song birds, and raptors. The potential also exists for large mammals such as deer and pronghorn to frequent this site. Raptors and other migratory birds are protected from take, harassment, and nest disruption at both the state and federal levels. If an active nest is discovered within the development area, CPW recommends that buffer zones around nest sites be implemented during any period of activity that may interfere with nesting season. This will prevent the intentional or unintentional destruction of an active nest.



For further information on this topic, a copy of the document “Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors,” is available from your local District Wildlife Manager. Following the recommendations outlined in this document will decrease the likelihood of unintentional take through disturbance.

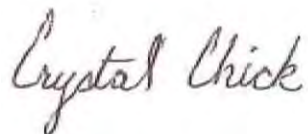
If a prairie dog colony is discovered within the project area, the potential may also exist for the presence of burrowing owls. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will begin between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey can also be obtained from your local District Wildlife Manager.

If prairie dog colonies are present, CPW would recommend they either be captured alive and moved to another location or humanely euthanized before any earth-moving occurs. Be aware that a permit and approval from county commissioners may be required for live relocation.

CPW recommends consideration be made for using principles of an integrated weed management plan, which Adams County may already have in place, to control and eliminate the spread of any noxious weeds in and around the site. CPW recommends that the planting of any species listed as noxious weeds be avoided throughout the development site and surrounding area. The spread and control of noxious weeds on the sites is a concern for wildlife in the immediate and surrounding area. Weeds are defined as “a plant that interferes with management objectives for a given area of land at a given point in time” (Whitson, 1999). Invasive plants endanger the ecosystem by disturbing natural processes and jeopardizing the survival of native plants and the wildlife that depend on them. The threat is so severe in the United States that scientist now agree that the spread of invasive species is one of the greatest risks to biodiversity (Nature Conservancy, 2003).

Thank you again for the opportunity to comment on the proposed construction of a new 20-inch crude oil pipeline, in Adams County. Please do not hesitate to contact us again about ways to continue managing the property in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact District Wildlife Manager Serena Rocksund at (303) 291-7132 or serena.rocksund@state.co.us.

Sincerely,

A handwritten signature in cursive script that reads "Crystal Chick".

Crystal Chick
Area 5 Wildlife Manager

Cc: M. Leslie, T. Kroening, S. Rocksund

Emily Collins

From: Marisa Dale [mdale@UnitedPower.com]
Sent: Wednesday, June 27, 2018 5:02 PM
To: Greg Barnes; Emily Collins
Subject: RE: For Review: Watkins Pipeline (RCU2018-00013)

Greg & Emily,

United Power, Inc. has no objection.

Best,
Marisa

Marisa Dale, RWA | [System Design - Right of Way](#)
500 Cooperative Way, Brighton, CO 80603 | O 303.637.1387
Schedule: Monday-Thursday 7:00-5:30

Powering Lives, Powering Change, Powering the Future – The Cooperative Way



From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]
Sent: Friday, June 08, 2018 4:16 PM
To: Emily Collins
Subject: For Review: Watkins Pipeline (RCU2018-00013)

Request for Comments

Case Name:	Watkins Pipeline
Case Number:	RCU2018-00013

June 11, 2018

The Adams County Planning Commission is requesting comments on the following application: **Conditional Use Permit to allow construction of a new crude oil pipeline, measuring approximately 20 inches in diameter.**

Please see the attached site plan for the preferred route. The Assessor's Parcel Numbers are provided on the County's website at the link provided at the end of this letter.

Applicant Information: **DISCOVERY DJ SERVICES, LLC**
540 E. BRIDGE STREET
BRIGHTON, CO 80601

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6820 by **July 2, 2018** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Emily Collins

From: Greg Barnes
Sent: Friday, June 29, 2018 5:26 PM
To: Emily Collins
Subject: FW: For Review: Watkins Pipeline (RCU2018-00013)



Greg Barnes
Planner II, *Community and Economic Development Dept.*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org
adcogov.org

From: Gutierrez, Carla [<mailto:CGutierrez@brightonfire.org>]
Sent: Friday, June 29, 2018 4:44 PM
To: Greg Barnes
Subject: RE: For Review: Watkins Pipeline (RCU2018-00013)

Hello Greg,

Our fire district has no comments on this project.

Thank you!

Carla Gutierrez
Fire Inspector
Brighton Fire Rescue District
500 S. 4th Ave. 3rd Floor
Brighton, CO 80601
303-654-8042
www.brightonfire.org

From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]
Sent: Friday, June 8, 2018 4:16 PM
To: Emily Collins <ECollins@adcogov.org>
Subject: For Review: Watkins Pipeline (RCU2018-00013)

Request for Comments

Case Name:	Watkins Pipeline
Case Number:	RCU2018-00013

June 11, 2018

Emily Collins

From: Steven Loeffler - CDOT [steven.loeffler@state.co.us]
Sent: Monday, July 02, 2018 9:15 AM
To: Emily Collins
Subject: RCU2018-00013, Watkins Pipeline

Emily,

We have reviewed the referral named above requesting a CUP to allow construction of a new crude oil pipeline measuring approx. 20 inches in diameter and have the following comments:

- Any work and or placement of this pipeline in the State Highway Right-of-Way will require coordination and permitting with CDOT. Contact for that permitting is Robert Williams who can be reached at 303-916-3542 or robert.williams@state.co.us. Application for permitting can be done online at the following link: <https://www.codot.gov/business/permits/utilityspecialuse/online-permit-application>

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

July 2, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Emily Collins

Re: Watkins Pipeline, Case # RCU2018-0000013

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there is are conflicts** with the above captioned project. Public Service Company has existing electric transmission lines and associated land rights crossing two locations along the proposed pipeline. Any activity including grading, proposed landscaping, erosion control or similar activities involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. **PSCo is requesting that, prior to any final approval of the development plan**, it is the responsibility of the property owner/developer/contractor to contact **Mike Diehl**, Siting and Land Rights Manager at (303) 571-7260 to have this project assigned to a Land Rights Agent for development plan review and execution of a License Agreement.

PSCo also has existing overhead and underground electric facilities in several areas near the southerly end of the pipeline. As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction. Bear in mind that per the National Electric Safety Code, a minimum 10-foot radial clearance must be maintained at all times from all overhead electric facilities including, but not limited to, construction activities and permanent structures. Additionally, be advised these were installed at original installation depths and any subsequent change of grade may render these depths incorrect. Therefore potholing existing facilities at the point(s) is strongly advised. The cover must be maintained throughout all activities. Be aware that all risk/responsibility for this request are unilaterally that of the Applicant/Requestor.

Please contact me at donna.l.george@xcelenergy.com or 303-571-3306 if there are any questions with this referral response.

Donna George
Right of Way and Permits
Public Service Company of Colorado

Emily Collins

From: Bullard, Andrew J [Andrew.J.Bullard@xcelenergy.com]
Sent: Monday, July 02, 2018 2:49 PM
To: Emily Collins
Cc: Diehl, Michael E
Subject: Re: Watkins Pipeline, Case # RCU2018-0000013
Attachments: IMG_1098.jpg

Emily,

For every crossing of Xcel Energy transmission lines, Discovery DJ Services LLC must acquire a crossing agreement. I only found two for this proposal, as marked in the attached image.

Andrew Bullard

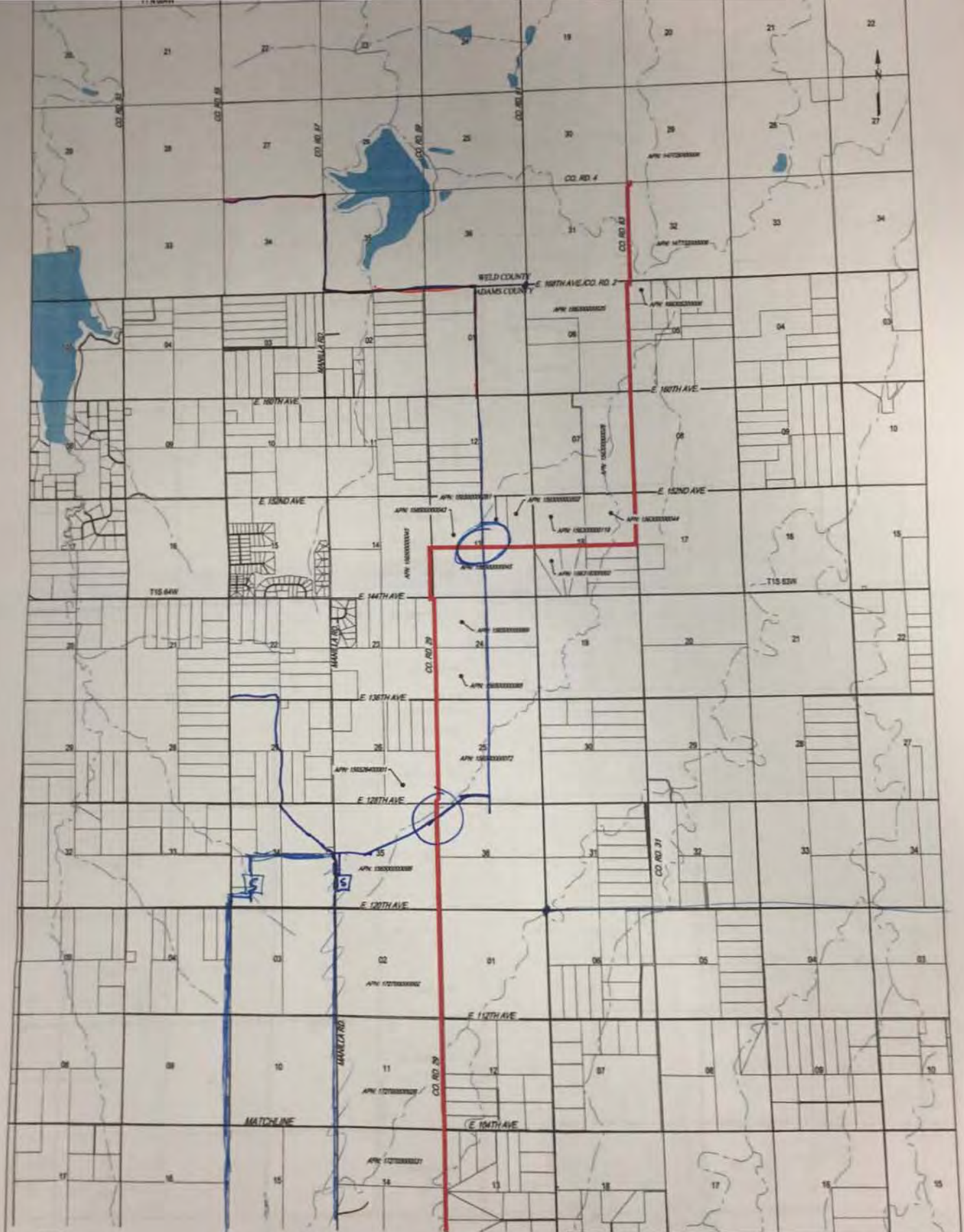
Xcel Energy | Responsible By Nature

Intern, Siting and Land Rights

1800 Larimer St, Suite 400 Denver, CO 80202

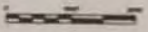
P: 303.571.7915

E: andrew.j.bullard@xcelenergy.com



- EXISTING LOTS
- PROPOSED PROJECT
- EXISTING PROJECT
- EXISTING UTILITY

NOTES:
 1. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORDS AND FIELD SURVEY. THE
 CURRENT LOCATION AND DEPTH OF UTILITIES SHOULD BE VERIFIED BY THE USER.



DATE PLOTTED	CLIENT NAME: DISCOVERY DJ SERVICES LLC
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
PROJECT	

Acklam, Inc
 125 Tobacco St., Suite 1
 Brighton CO, 80601

Emily Collins

From: Jeff M. Hopkins [jeff@frontrangervstorage.com]
Sent: Monday, June 18, 2018 1:54 PM
To: Emily Collins
Subject: Case RCU2018-00013

Hello Emily,

Please accept this correspondence as a formal response to request for comments regarding Watkins Pipeline, Case #RCU2018-00013 by Applicant, Discovery DJ Services, LLC.

As property owner and on behalf of Front Range RV Storage, LLC located at 2121 Manilla Rd. Bennett, CO. 80102 (The South 1/2 of the South 1/2 of the NE 1/4 of Section 34, Township 3 South, Range 64 West of the Sixth Principal Meridian), we are NOT in support of a Conditional Use Permit for this project should it encroach upon and/or affect our property in any way at this time.

Although Discovery DJ Services has been in contact with us on several occasions, we have NOT agreed to any easement and/or other agreement or arrangements that would allow them to use any portion of our property at this time. We have expressed our concerns to the applicant directly, and have shown courtesy in the form that we are open to discussions and a possible agreement, but again, nothing has been agreed to as of the date of this correspondence.

We feel the maps and information included in the request for comments are fairly vague and do not clearly determine the exact route of the proposed pipeline, and therefore, what properties are directly affected. The maps are incredibly small for example.

We would like to continue to be included on any information, public comments, meetings, hearings and/or other forums related to this case.

Sincerely,
Front Range RV Storage
Jeff M. Hopkins
303-775-4659
jeff@frontrangervstorage.com

Emily Collins

From: judy thomas [judyt_80121@yahoo.com]
Sent: Friday, June 29, 2018 3:35 PM
To: Emily Collins
Subject: Fw: Re: Discovery Pipeline Agreement
Attachments: CO-AD-002C & CO-AD-002B Frey-Thomas Survey.pdf; Thomas.Fray Google Map 4.9.18.pdf

June 29, 2018

Subject: Watkins Pipeline RCU2018-00013

Dear Emily -

This is to confirm our telephone conversation that we DO NOT APPROVE of the preferred pipeline route as proposed by Discovery known as the Watkins Pipeline RCU2018-00013 shown in your mailing of June 11, 2018.

Part of the proposed route goes through our property and we have not entered in to any agreement with Discovery. In addition, the proposed route is not acceptable to us.

We had been informed by Discovery that the routing would be revised to run along Highway 36, as shown in the attached email from Joey Fernandes representing Discovery.

We have attempted to contact Joey Fernandes of Discovery Pipeline several times over the last month and he has not responded.

Please see the email from Joey with the attachments which we received April 10.

Sincerely,

Judy E. Thomas, Trustee
Harold L. Frey, Trustee

----- Forwarded Message -----

From: Joseph Fernandes <jdfernandes00@gmail.com>
To: judy thomas <judyt_80121@yahoo.com>; "hlfrey61@yahoo.com" <hlfrey61@yahoo.com>
Sent: Tuesday, April 10, 2018 09:14:14 AM
Subject: Re: Discovery Pipeline Agreement

Morning Judy & Harold!

It sure was nice meeting with you folks last week, and I appreciate you taking the time out of your day to discuss the pipeline for a few minutes. I felt good upon the conclusion of our meeting, and have taken the proper measures to get the route revised to your satisfaction. I have attached those Surveyed Exhibits below. I highlighted the main parts of the Exhibit, help point out a few things a bit better. Highlighted in orange would be the permanent 30 foot easement that does in fact run directly

paralleled to the property lines without any sort of offset. That included the northern portion running along Highway 36, appears we are smack up against that as well. Also Highlighted in orange would be the two 'Total Center Line Lengths' that have been calculated, The southern section being 2,103.70 feet, the northern section being 3,745.73. That gives us a total of more than I measured originally, puts us at 5,849. 43, I will call it 5,850 total linear feet. Even at the \$30 per foot I offered to compensate, that new footage puts us at \$175,500 for the easement. If there would be a time to get together this week to discuss further, I know we wanted to address Greg's concerns (I am getting that Safety Information put together still) last week and then Yourself, Harold & Myself were going to set aside a time to discuss pricing. I am available all week and more than willing to meet you folks again down at the Virginia Village Library, I really enjoyed that. Let me know what works best for you, feel free to give me a call any time to set up a time, or shoot me an E-mail. I look forward to hearing from you! Enjoy the sunshine today!

Thanks so much,

Joey

On Tue, Apr 3, 2018 at 5:00 PM, Joseph Fernandes <jdfernandes00@gmail.com> wrote:
Hey Judy-

1 pm will in fact work perfectly for me. Virginia Village library seems to match the address given, so I will see you folks there tomorrow! Looking forward to it and thank you for your time!

Thanks,

Joey

Discovery DJ Mobile

On Apr 3, 2018, at 4:51 PM, judy thomas <judyt_80121@yahoo.com> wrote:

Hi Joey - Sorry I haven't been able to get in touch with you today. We have set up a tentative meeting for 1:00 pm tomorrow afternoon at Virginia Village Library - 1500 S. Dahlia. Will that work for you?

Judy Thomas
(303)349-7570

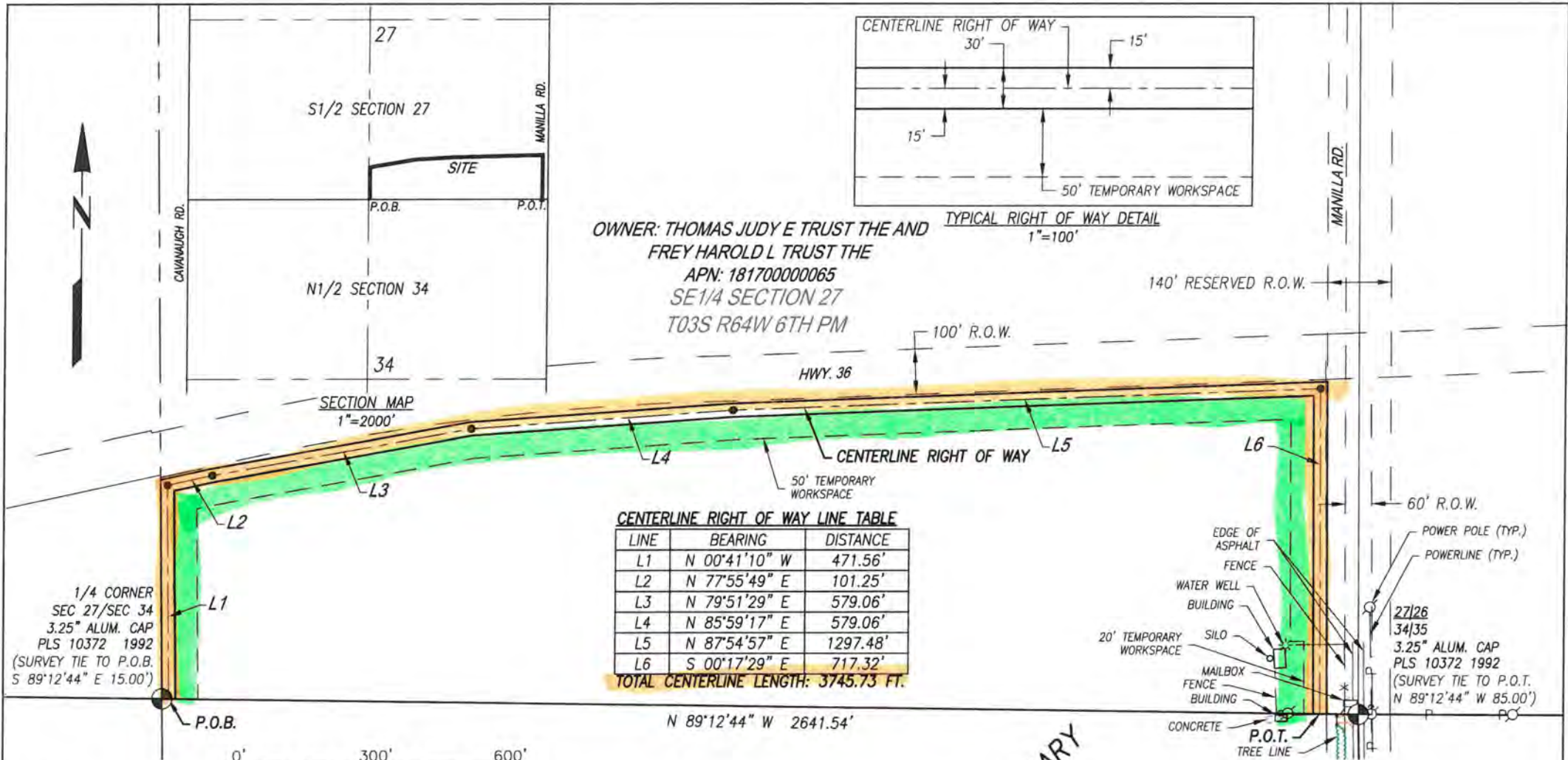
--

Joey Fernandes

Land Agent- Quality Check Energy Services

(C) 814-746-0578

JDFernandes00@gmail.com

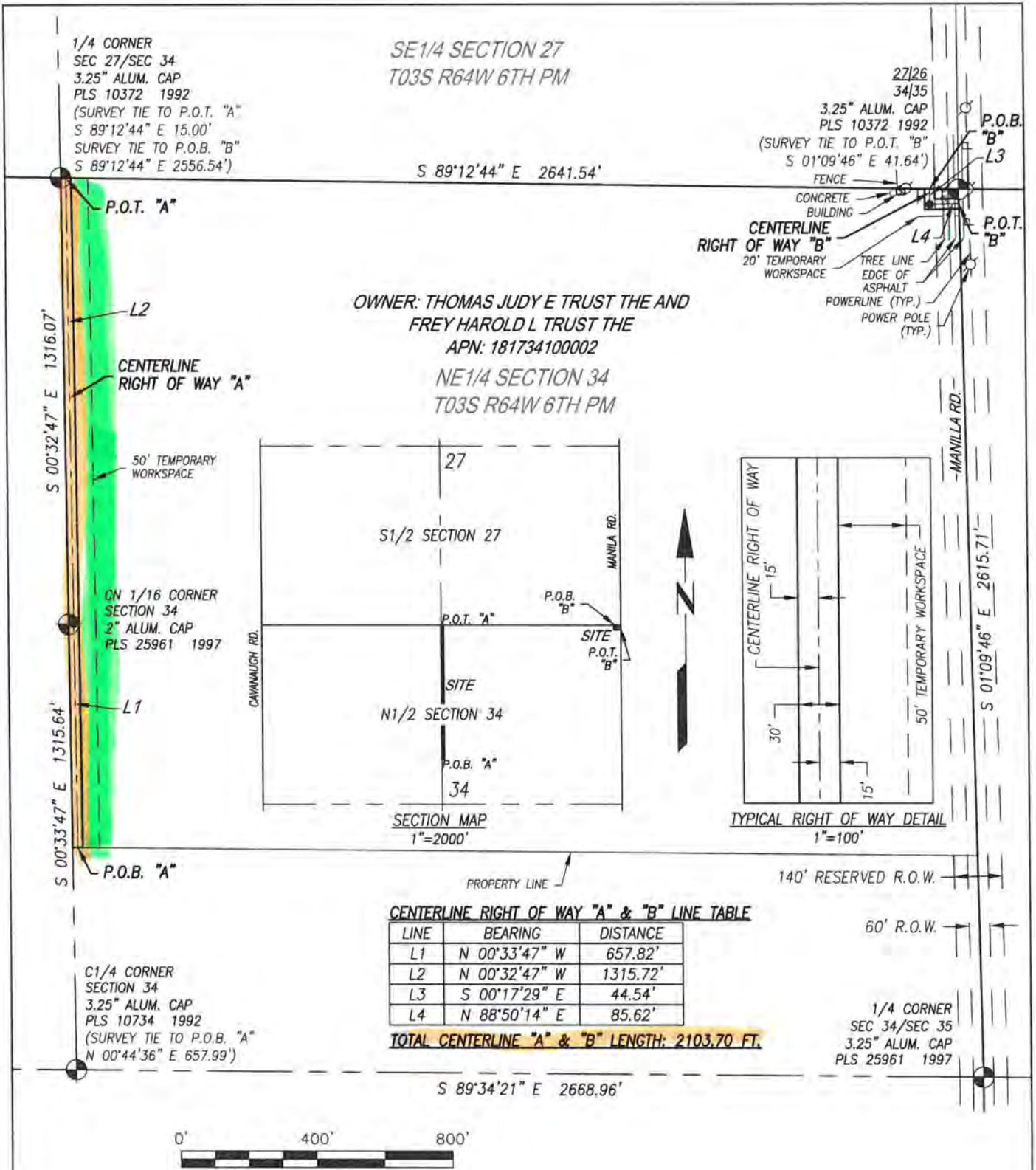


NOTES

- 1.) LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISIBLE SURFACE EVIDENCE. THESE LOCATIONS IF SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY OTHERS PRIOR TO EXCAVATION.
- 2.) THIS EXHIBIT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE ACKLAM, INC. HAS NOT RESEARCHED OR SHOWN ANY OTHER EASEMENTS, RIGHTS OF WAY, VARIANCES AND OR AGREEMENTS OF RECORD EXCEPT AS SHOWN HEREON.
- 3.) THIS EXHIBIT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT. IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF ANY LAND BOUNDARY, EASEMENT, FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES.
- 4.) BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS VIA "VRS NOW" POSITIONING SYSTEM AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE N.G.S. AND PROJECTED TO "COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE" (C.R.S. 38-52-105 & 106). DISTANCES SHOWN HEREON ARE IN US SURVEY FEET GRID. THE COMBINED FACTOR USED TO OBTAIN THE GRID DISTANCES IS 0.999725885.
- 5.) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- 6.) THIS EXHIBIT WAS PREPARED BY DOUGLAS W. CHINN, PLS 37070, FOR AND ON BEHALF OF ACKLAM, INC. 195 TELLURIDE ST., SUITE 7, BRIGHTON, CO 80601.

<p>Acklam, Inc. 195 Telluride St., Suite 7 Brighton CO, 80601</p>	<p>DISCOVERY DJ SERVICES LLC EXHIBIT "A" RIGHT OF WAY LANDS SE 1/4 SECTION 27 T3S R64W 6TH PM, ADAMS COUNTY, COLORADO</p>	SCALE: 1"=300'
		DATE: 02/14/18 SMF
		JOB No.: 170012
		JOB NAME: WATKINS EOG ROUTE
		SHEET 1 OF 1
		REV: A SR 04/09/18
		SRID: CO-AD-002C

PRELIMINARY



NOTES

- 1.) LOCATIONS OF UTILITIES AND FOREIGN PIPELINES WERE DETERMINED FROM VISIBLE SURFACE EVIDENCE. THESE LOCATIONS IF SHOWN MAY NOT BE ACCURATE OR COMPLETE. OTHER UTILITIES MAY EXIST AND ARE TO BE FIELD LOCATED BY OTHERS PRIOR TO EXCAVATION.
- 2.) THIS EXHIBIT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE ACKLAM, INC. HAS NOT RESEARCHED OR SHOWN ANY OTHER EASEMENTS, RIGHTS OF WAY, VARIANCES AND OR AGREEMENTS OF RECORD EXCEPT AS SHOWN HEREON.
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- 4.) BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS VIA "VRS NOW" POSITIONING SYSTEM AND/OR THE ONLINE POSITIONING USER SERVICE OFFERED BY THE N.G.S. AND PROJECTED TO "COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE" (C.R.S. 38-52-105 & 106). DISTANCES SHOWN HEREON ARE IN US SURVEY FEET GRID. THE COMBINED FACTOR USED TO OBTAIN THE GRID DISTANCES IS 0.999725885.
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- 6.) THIS EXHIBIT WAS PREPARED BY DOUGLAS W. CHINN, PLS 37070, FOR AND ON BEHALF OF ACKLAM, INC. 195 TELLURIDE ST., SUITE 7, BRIGHTON, CO 80601.

<p>Acklam, Inc. 195 Telluride St., Suite 7 Brighton CO, 80601</p>	<p>DISCOVERY DJ SERVICES LLC EXHIBIT "A" RIGHT OF WAY LANDS NE1/4 SECTION 34 T3S R64W 6TH PM, ADAMS COUNTY, COLORADO</p>	SCALE: 1"=400'
		DATE: 02/14/18 SMF
		JOB No.: 170012
		JOB NAME: WATKINS EOG ROUTE
		SHEET 1 OF 1
		REV: A SR 04/09/18
SRID: CO-AD-002B		



**Judy Thomas
Harold Frey**

Footage: 5,850'

© 2018 Google

Google Earth

Emily Collins

From: DJ Eversman [dj@eversman.com]
Sent: Friday, June 29, 2018 10:26 AM
To: Emily Collins
Subject: Discovery DJ Services Pipeline

Dear Ms Collins, My husband and I are homeowners that live 16600 Harback Rd. We are 1 1/3 mile from where the pipeline would meet at the compressor station. You have sent several routes that the pipeline would take to lesson the impact on agricultural fields and rural residents. However, Discovery has not taken into consideration the impact on the rural residents that live close to the proposed compressor station site. We met with them months ago to share our displeasure of the site and they have not responded to our request to move the station away from many residents. If the station is moved, then the pipeline will also need to move. Hopefully there can be a decision that will work for everyone.
Sincerely, Donna and John Eversman

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Request for Comments

Case Name:	Watkins Pipeline
Case Number:	RCU2018-00013

June 11, 2018

The Adams County Planning Commission is requesting comments on the following application:
Conditional Use Permit to allow construction of a new crude oil pipeline, measuring approximately 20 inches in diameter.

Please see the attached site plan for the preferred route. The Assessor's Parcel Numbers are provided on the County's website at the link provided at the end of this letter.

Applicant Information: **DISCOVERY DJ SERVICES, LLC
540 E. BRIDGE STREET
BRIGHTON, CO 80601**

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6820 by **July 2, 2018** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information, upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name:	Watkins Pipelines
Case Number:	RCU2018-00013
Planning Commission Date:	09/13/2018 at 6:00 p.m
Board of County Commissioners Date:	10/02/2018 at 9:30 a.m.

August 21, 2018

A public hearing has been set by the Adams County Planning Commission to consider the following request: **Conditional Use Permit to allow construction of a maximum 24-inch natural gas and crude oil pipeline for approximately 21 miles in unincorporated Adams County**

This request is located at **Multiple Parcels**

The Assessor's Parcel Number (s) are: **See attached list**

Applicant Information **DISCOVERY DJ SERVICES, LLC**
540 E BRIDGE STREET, SUITE A
BRIGHTON, CO 80601

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S. Adams County Parkway, Brighton, CO 80601, 720-523-6820. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins

Emily Collins, AICP
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Watkins Pipeline Project

Preferred Route

0156300000025

0156300000024

0156300000028

0181702100001

0156305200006

0156500000072

0156500000068

0156523100003

0156526400001

0172700000111

0181702100003

0172700000090

0172723400004

0172726100004

0172726300001

0156500000045

0172700000002

0156500000099

0172700000026

0172700000031

0181800000004

0172724200003

0181712300001

0181702100004

0171700000121

0181713200001

0181700000260

0156500000043

0156300000044

0172735100001

0172726300002

0156300000119

0156500000261

0156500000262

0181702100002

0172723100001

0156500000069

0181700000108

0181700000290

0181700000289

0181700000149

0181700000105

0181700000276

0181700000270

0181700000107

Watkins Pipeline Project

Alternative #2

0156300000025

0156305200006

0156305200001

0156305200003

0156300000024

0156300000023

0156300000028

0156300000029

0156300000044

0156317100001

0156317300001

0156318400001

0156318400002

0156318400003

0156318400004

0156300000052

0156300000117

0156300000118

0156300000078

0156330100004

0156330100003

0156330100002

0156330100001

0156300000076

0156300000075

0156331400005

0156331400004

0156331400003

0156331400002

0156331100004

0156331100004

0156331100002

0156331100001

0156300000082

0172906400004

0172906100001

0172905200001

0172905300001

0172907400001	0181701400004	0181700000276
0172907100003	0181712100001	0181700000108
0172900000016	0181712100002	0181700000315
0172900000015	0181712100003	0181700000104
0172900000149	0181712100004	0181700000105
0172900000148	0181712400001	<u>Watkins Pipeline Project</u>
0172918400001	0181712400002	<u>Alternative #3</u>
0172918100001	0181712400003	0156500000005
0172900000029	0181712400004	0156500000256
0172919400004	0181507200001	0156500000281
0172919100004	0181507200003	0156500000145
0172900000087	0181507200004	0156500000155
0172900000051	0181507300001	0156500000156
0172930100004	0181507300002	0156500000047
0172900000050	0181507300003	0156500000064
0172900000180	0181713100001	0156500000244
0172900000181	0181500000452	0156500000244
0172931100004	0181500000446	0156500000242
0172900000055	0181500000453	0156510000241
0172900000056	0181500000445	0156500000240
0181505200001	0181700000312	0156500000239
0172900000178	0181519200001	0156500000238
0172900000179	0181519200002	0156500000237
0181500000393	0181519200003	0156500000150
0181500000342	0181519300001	0156500000123
0172736400004	0181519300002	0156500000151
0181701100001	0181700000313	0172700000119
0181701100002	0181700000009	0172700000033
0181701100003	0181700000327	0172722100001
0181701100004	0181700000289	0172722100002
0181701400001	0181700000290	0172722100003
0181701400002	0181700000264	0172722100004
0181701400003	0181700000107	0172700000054

0172727100001
0172727100003
0172727400001
0172727300001
0172700000201
0172700000087
0181700000006
0181700000022

0181700000024
0187151000001
0181700000259
0181700000258
0181700000054
0181700000055
0181700000311
0181700000314

0181700000065
0181700000104
0181700000105
0181734200001
0181734200002
0181734200003
0181700000104
0181700000149

NOTICE OF PUBLIC HEARING FOR LANDUSE

NOTICE IS HEREBY GIVEN, that an application has been filed by **Discovery DJ Services, LCC** Case # **RCU2018-00013** requesting: **Conditional Use Permit to allow construction of a maximum 24-inch natural gas and crude oil pipeline for approximately 21 miles in unincorporated Adams County** on the following property:

LEGAL DESCRIPTION:

Legal Start and End Points within Adams County:

Beginning Section 35-T3S-R64W, **Ending** Section 5-T1N-R63W

Total Project Length: 21 miles

Parcel/Tract Count in Adams County: 92

(The above legal description was provided by the applicant and Adams County is not responsible for any errors and omissions that may be contained herein and assumes no liability associated with the use or misuse of this legal description.)

APPROXIMATE LOCATION:

<u>Watkins Pipeline Project</u>	0181702100004	0156305200001
<u>Preferred Route</u>	0171700000121	0156305200003
0156300000025	0181713200001	0156300000024
0156300000024	0181700000260	0156300000023
0156300000028	0156500000043	0156300000028
0181702100001	0156300000044	0156300000029
0156305200006	0172735100001	0156300000044
0156500000072	0172726300002	0156317100001
0156500000068	0156300000119	0156317300001
0156523100003	0156500000261	0156318400001
0156526400001	0156500000262	0156318400002
0172700000111	0181702100002	0156318400003
0181702100003	0172723100001	0156318400004
0172700000090	0156500000069	0156300000052
0172723400004	0181700000108	0156300000117
0172726100004	0181700000290	0156300000118
0172726300001	0181700000289	0156300000078
0156500000045	0181700000149	0156330100004
0172700000002	0181700000105	0156330100003
0156500000099	0181700000276	0156330100002
	0181700000270	0156330100001
0172700000026	0181700000107	0156300000076
0172700000031	<u>Watkins Pipeline Project</u>	0156300000075
0181800000004	<u>Alternative #2</u>	0156331400005
0172724200003	0156300000025	0156331400004
0181712300001	0156305200006	0156331400003

0156331400002	0181701100003	0181700000276
0156331100004	0181701100004	0181700000108
0156331100004	0181701400001	0181700000315
0156331100002	0181701400002	0181700000104
0156331100001	0181701400003	0181700000105
0156300000082	0181701400004	<u>Watkins Pipeline Project</u>
0172906400004	0181712100001	<u>Alternative #3</u>
0172906100001	0181712100002	0156500000005
0172905200001	0181712100003	0156500000256
0172905300001	0181712100004	0156500000281
0172907400001	0181712400001	0156500000145
0172907100003	0181712400002	0156500000155
0172900000016	0181712400003	0156500000156
0172900000015	0181712400004	0156500000047
0172900000149	0181507200001	0156500000064
0172900000148	0181507200003	0156500000244
0172918400001	0181507200004	0156500000244
0172918100001	0181507300001	0156500000242
0172900000029	0181507300002	0156510000241
0172919400004	0181507300003	0156500000240
0172919100004	0181713100001	0156500000239
0172900000087	0181500000452	0156500000238
0172900000051	0181500000446	0156500000237
0172930100004	0181500000453	0156500000150
0172900000050	0181500000445	0156500000123
0172900000180	0181700000312	0156500000151
0172900000181	0181519200001	0172700000119
0172931100004	0181519200002	0172700000033
0172900000055	0181519200003	0172722100001
0172900000056	0181519300001	0172722100002
0181505200001	0181519300002	0172722100003
0172900000178	0181700000313	0172722100004
0172900000179	0181700000009	0172700000054
0181500000393	0181700000327	0172727100001
0181500000342	0181700000289	0172727100003
0172736400004	0181700000290	0172727400001
0181701100001	0181700000264	0172727300001
0181701100002	0181700000107	0172700000201

0172700000087	0181700000054	0181734200001
0181700000006	0181700000055	0181734200002
0181700000022	0181700000311	0181734200003
0181700000024	0181700000314	0181700000104
0187151000001	0181700000065	0181700000149
0181700000259	0181700000104	
0181700000258	0181700000105	

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Adams County Planning Commission in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO – 1st Floor, on the **11th day of October, 2018**, at the hour of 6:00 p.m., where and when any person may appear and be heard and a recommendation on this application will be forwarded to the Board of County Commissioners.

NOTICE IS FURTHER GIVEN, that a public hearing will be held by the Adams County Board of County Commissioners in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO – 1st Floor, on the **16th day of October, 2018**, at the hour of 9:30 a.m., to consider the above request where and when any person may appear and be heard.

For further information regarding this case, please contact **Emily Collins** at the Department of Community and Economic Development, 4430 S. Adams County Pkwy, Brighton, CO 80601, 720.523.6820. This is also the location where the maps and/or text certified by the Planning Commission may be viewed.

BY ORDER OF THE BOARD OF COUNTY COMMISSIONERS
STAN MARTIN, CLERK OF THE BOARD

TO BE PUBLISHED IN THE **September 14, 2018 ISSUE OF THE I-70 SCOUT/ EASTERN COLORADO NEWS**

Please reply to this message by email to confirm receipt or call **Megan Ulibarri** at 720.523.6800.



Referral Listing
Case Number RCU2018-00007
Colt Pipeline

Agency

Contact Information

Adams County Development Services - Building

Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601
720-523-6825
JBlair@adcogov.org

Adams East Metropolitan District

160TH AVENUE HOLDINGS LLC
5460 S QUEBEC STREET SUITE 110
GREENWOOD VILLAGE CO 80111

BRIGHTON FIRE DISTRICT

WHITNEY EVEN
500 South 4th Avenue
3rd Floor
BRIGHTON CO 80601
(303) 659-4101
weven@brightonfire.org

BRIGHTON SCHOOL DISTRICT 27J

Kerrie Monti
18551 E. 160TH AVE.
BRIGHTON CO 80601
303-655-2984
kmonti@sd27j.org

BROMLEY PARK METRO DIST.

6399 S. FIDDLERS GREEN CIRL
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7580 SCHUMAKER ROAD
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DOUGLAS WY 82633

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DISCOVERY BAY CA 94505-9200

SAUTER FARMS INC
49815 E 120TH AVE
BENNETT CO 80102-9478

SCHOOL DISTRICT NO.27J
18551 E 160TH AVENUE
BRIGHTON CO 80601

SAUTER JOHN J JR
14800 HARBACK RD
KEENESBURG CO 80643-9715

SCHULTZ ROBERT J AND
SCHULTZ CHERYL A
7502 SCHUMAKER RD
BENNETT CO 80102

SAUTER THOMAS M
50005 E 120TH AVENUE
BENNETT CO 80102

SCHWAB WILLIAM FAMILY TRUST
19831 OCEAN BLUFF CIR
HUNTINGTON BEACH CA 92648-2610

SAUTER VINCENT AND SAUTER BEVERLY M JT
AND SAUTER THOMAS
50005 E 120TH AVE
BENNETT CO 80102

SIEGMAN THOMAS AND PATRICIA TRUST
PO BOX 234 /475 3RD ST
BENNETT CO 80102

SAXTON CHARLES N
PO BOX 294
BENNETT CO 80102-0294

SIMENTAL SHEREE C AND
SIMENTAL ARCEO LUIS H
7800 SCHUMAKER RD
BENNETT CO 80102-9644

SIMMERING MICHAEL GLEN
8700 N MANILLA ROAD
BENNETT CO 80102

SWENSON JERRY A
41020 US HIGHWAY 36
BENNETT CO 80102-8626

SMIALEK DOUGLAS J AND
SMIALEK DARETH
3535 N HARBACK RD
BENNETT CO 80102-8856

TEAGUE ELSBETH L TRUST
14050 E LINEVALE PL NO. 404
AURORA CO 80014

SNIDER JOY MARIE TRUSTEE OF THE JOY
MARIE SNIDER TRUST ET AL
1246 SHELDON DRIVE
BRENTWOOD CA 94513

THOMAS JUDY E TRUST THE AND
FREY HAROLD L TRUST THE
5956 S FAIRFAX STREET
LITTLETON CO 80121

SOUTHERN STAR CENTRAL GAS PIPELINE INC
4700 HWY 56
OWENSBORO KY 42301

THYFAULT KATIE AND
THYFAULT CORY SCOTT
40061 E 88TH AVE
BENNETT CO 80102-9606

STATE OF COLORADO
49001 E 144TH AVE
KEENESBURG CO 80643-8709

TIENVIERI STEVEN D
39111 E 128TH AVE
HUDSON CO 80642-7640

STATE OF COLORADO
44755 E 160TH AVE
KEENESBURG CO 80643

TRI-B ASSOCIATES
700 COLORADO BLVD NO. 340
DENVER CO 80206

STEPHENS LEO D TRUST THE
1290 N BROOKSIDE DR
COLBY KS 67701-2841

TRI-B ASSOCIATES
700 COLORADO BLVD NO. 340
DENVER CO 80206-4036

STOKER KENT E AND
STOKER BRENT A
41340 E HIWAY 36
BENNETT CO 80102

TRUPP REAL ESTATE II LLLP
45815 E 56TH AVE
BENNETT CO 80102-9107

STUCKERT LA DONNA L TRUSTEE
14243 N 23RD ST
PHOENIX AZ 85022

TRUPP REAL ESTATE IV LLLP
45815 E 56TH AVE
BENNETT CO 80102-9107

SWEED JAMES ROBERT AND
SWEED FLORA MAE
P O BOX 358
WATKINS CO 80137-0358

TULLOCH WILLIAM J/SUSAN D AND
SKINNER DAVID R
11840 RACINE CT
HENDERSON CO 80640-9102

VALLES CARDIEL ROSARIO ENRIQUE AND
VALLES GILBERTO
41222 E 104TH AVE
BENNETT CO 80102-9511

WILSON ANDREW M AND
WILSON SARAH M
7545 SCHUMAKER RD
BENNETT CO 80102-9614

VAN DYK GERRIT A/DOROTHY M AS TRUSTEES
VANDYK GERRIT A/DOROTHY M JT REVOC TRUST
920 ANTELOPE DR W
BENNETT CO 80102-8676

WINTERS CARL WAYNE/BEVERLY
JEAN FAMILY TRUST THE
HC 13 BOX 3003
FAIRVIEW UT 84629-9618

VAN PHU D AND
LE EM T
5088 HAWKS HAMMOCK WAY
SANFORD FL 32771-8068

WINTERS JAMES C
2925 GREYSTONE DR
PACE FL 32571

VANDOORN DAVID D AND
VANDOORN SANDRA
41540 US HWY 36
BENNETT CO 80102-7858

WOLTMAN TERRY L TRUSTEE UNDER THE
TERRY L WOLTMAN LIVING TRUST
PO BOX 267
BENNETT CO 80102-0267

VIGNALI SILAS NATHAN AND
VIGNALI BRANDY DAWN
41301 E 104TH AVENUE
BENNETT CO 80102

WOODS KENNETH R
7733 SCHUMAKER RD
BENNETT CO 80102-9644

WALTERS ANTHONY L AND
WATLERS KELLY P
41280 E HIWAY 36
BENNETT CO 80102

XTR MIDSTREAM LLC
370 17TH ST STE 5300
DENVER CO 80202-5653

WARNER LILLIAN M
50700 E 38TH AVE
BENNETT CO 80102-8913

ZEILER ENTERPRISES LLC
6550 PUMPKIN RIDGE DR
WINDSOR CO 80550-7022

WEIGLE TARA L
40700 E 136TH AVE
HUDSON CO 80642-7742

ZEILER ENTERPRISES LLC ET AL
6550 PUMPKIN RIDGE DR
WINDSOR CO 80550-7022

WESTERN TRANSPORT LLC UND 58.76% AND TREE TO
P LP AND
LP UND 21.24% AND COLORADO MAVERICK COMPANY
LLC UND 20%
625 E MAIN ST STE 1028-303
ASPEN CO 81611-1935

ZEILER MARK ALLEN ET AL
8823 S INDIAN CREEK ST
HIGHLANDS RANCH CO 80126

WILLIS EUGENE A AND
WILLIS KIMBERLY A
7905 SCHUMAKER RD
BENNETT CO 80102-9656

ZUHLKE RONALD L JR AND
ZUHLKE HEIDI
41620 US HIGHWAY 36
BENNETT CO 80102-7859

CERTIFICATE OF POSTING



I, Emily Collins do hereby certify that I had the property posted at

Parcel # 015630520006, #0181713200001, #0181700000107

on September 18, 2018

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

Watkins Pipeline RCU2018-00013

October 16, 2018

Board of County Commissioners

Community and Economic Development

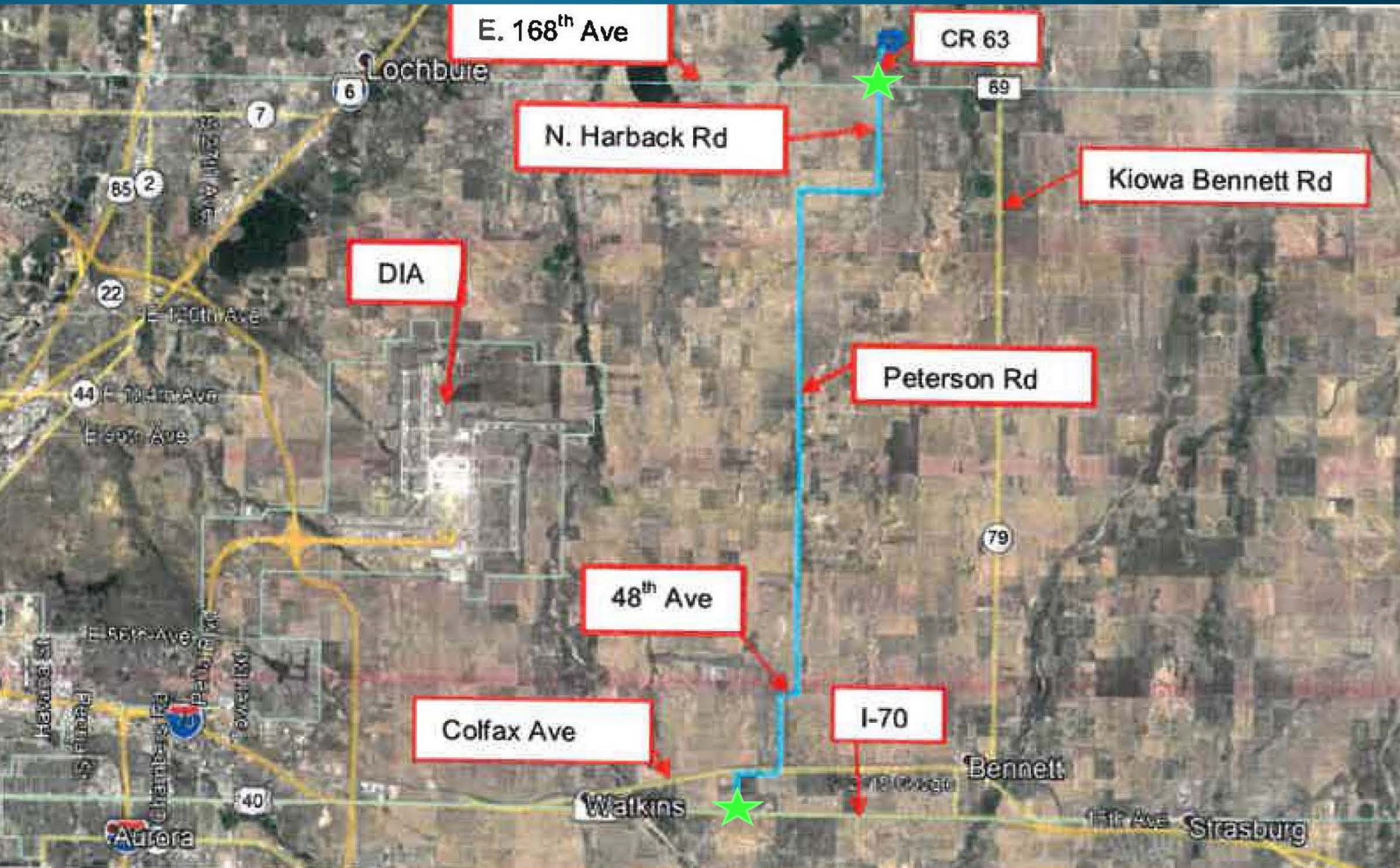
Case Manager: Emily Maldonado



Request

- A conditional use permit to allow 21.5 miles of pipeline
 - 20" natural gas
 - 20" crude oil
- Development Agreement

Pipeline Alignment



NORTH

Alternative #1

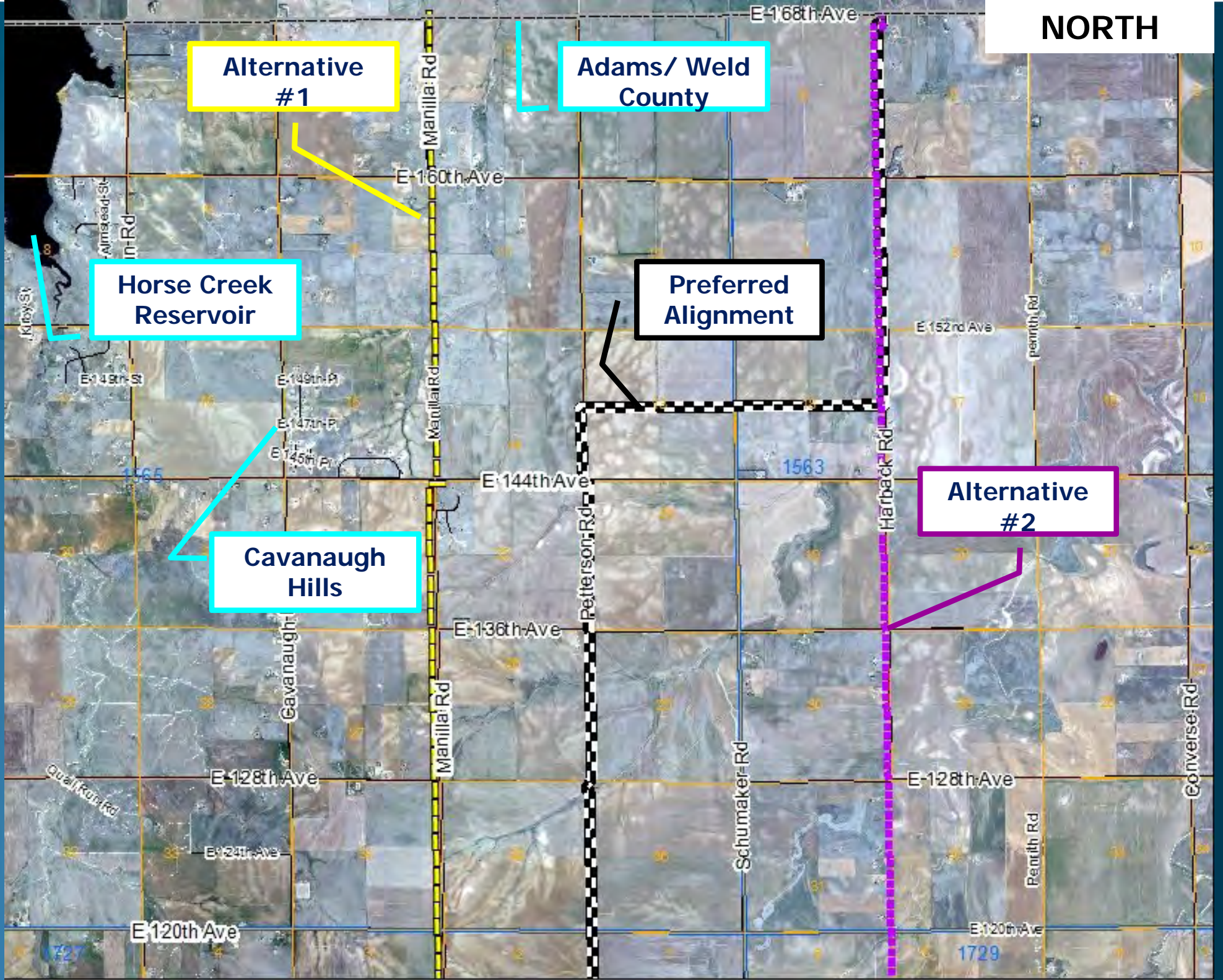
Adams/ Weld County

Horse Creek Reservoir

Preferred Alignment

Cavanaugh Hills

Alternative #2



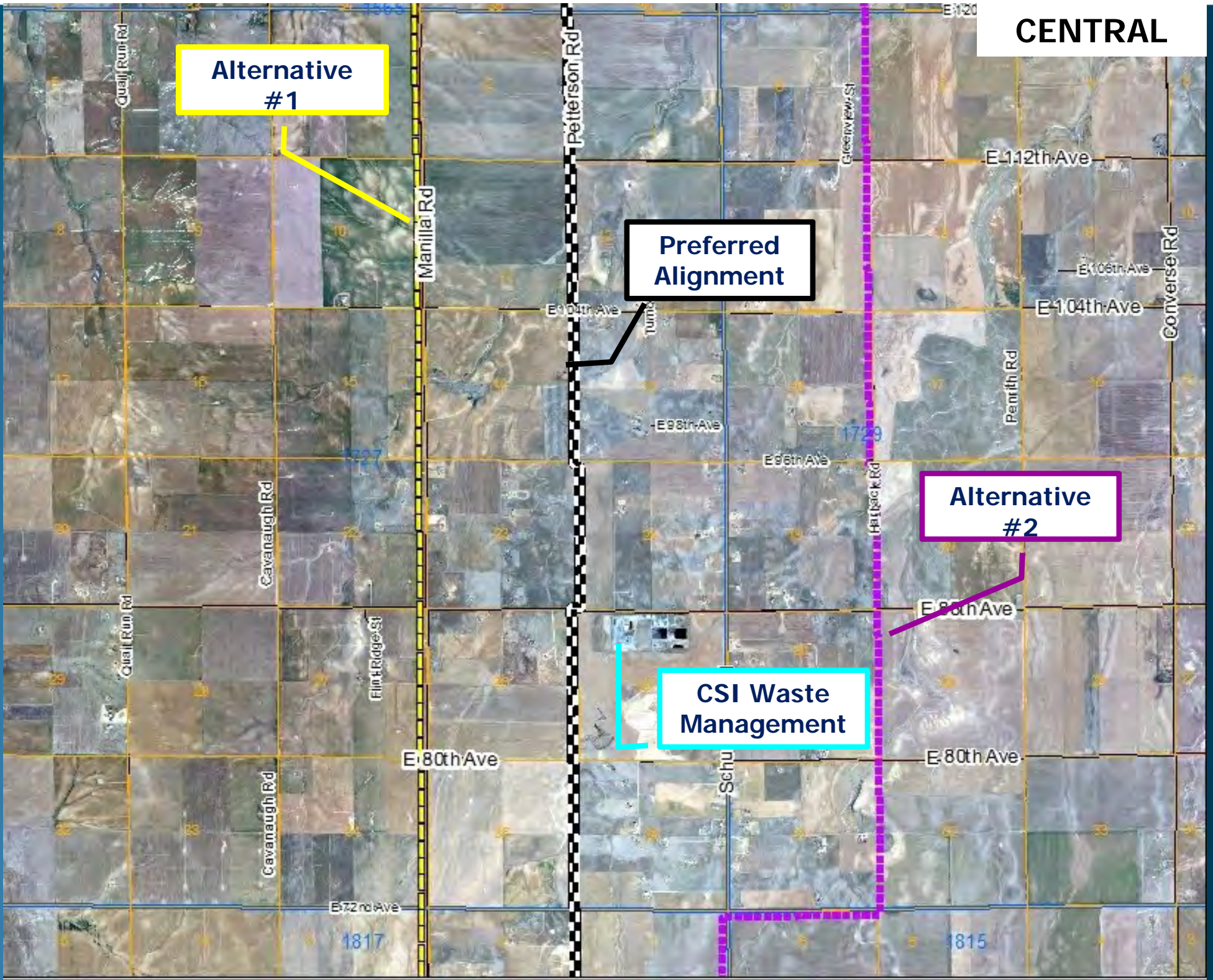
CENTRAL

Alternative #1

Preferred Alignment

Alternative #2

CSI Waste Management



SOUTH

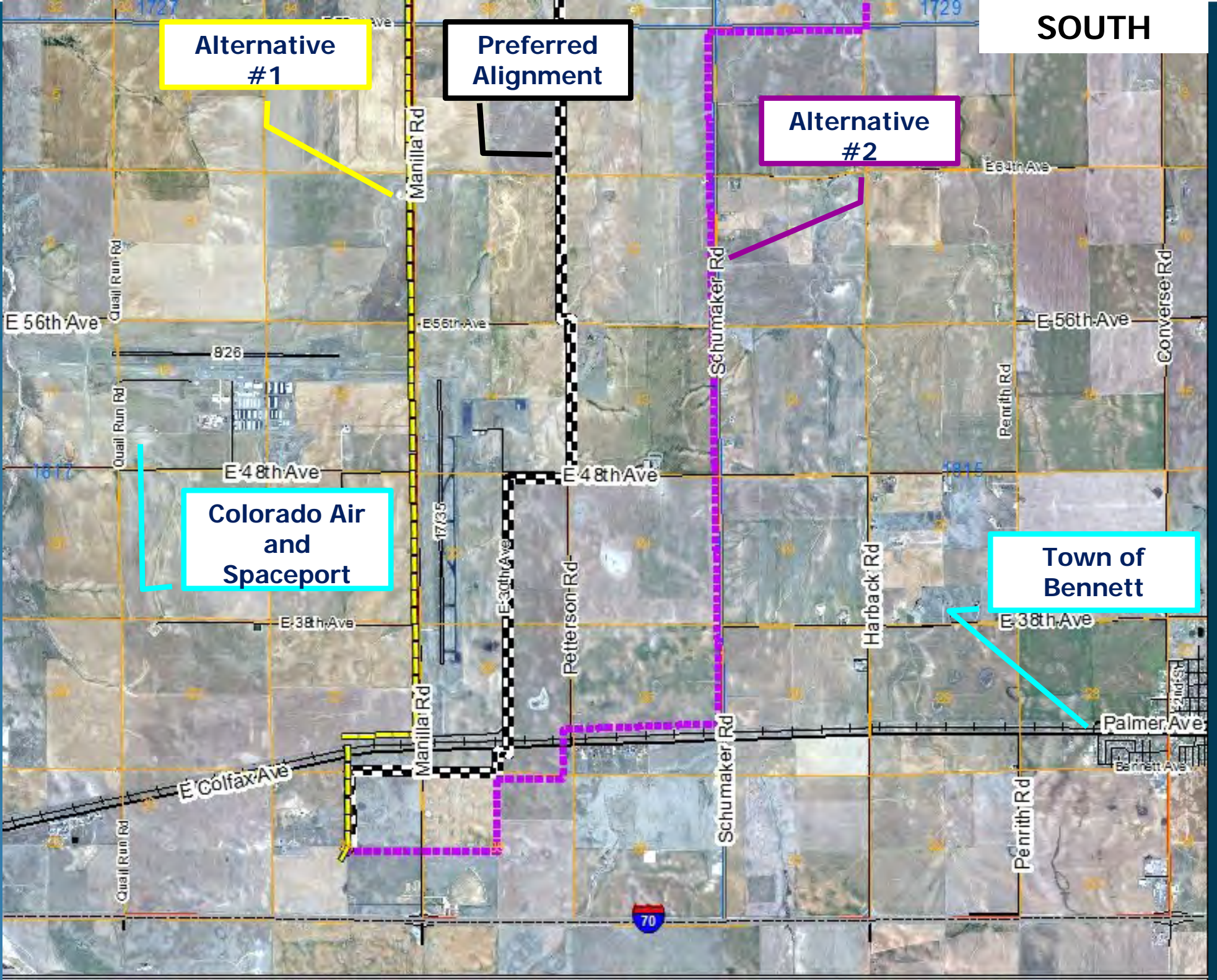
Alternative #1

Preferred Alignment

Alternative #2

Colorado Air and Spaceport

Town of Bennett



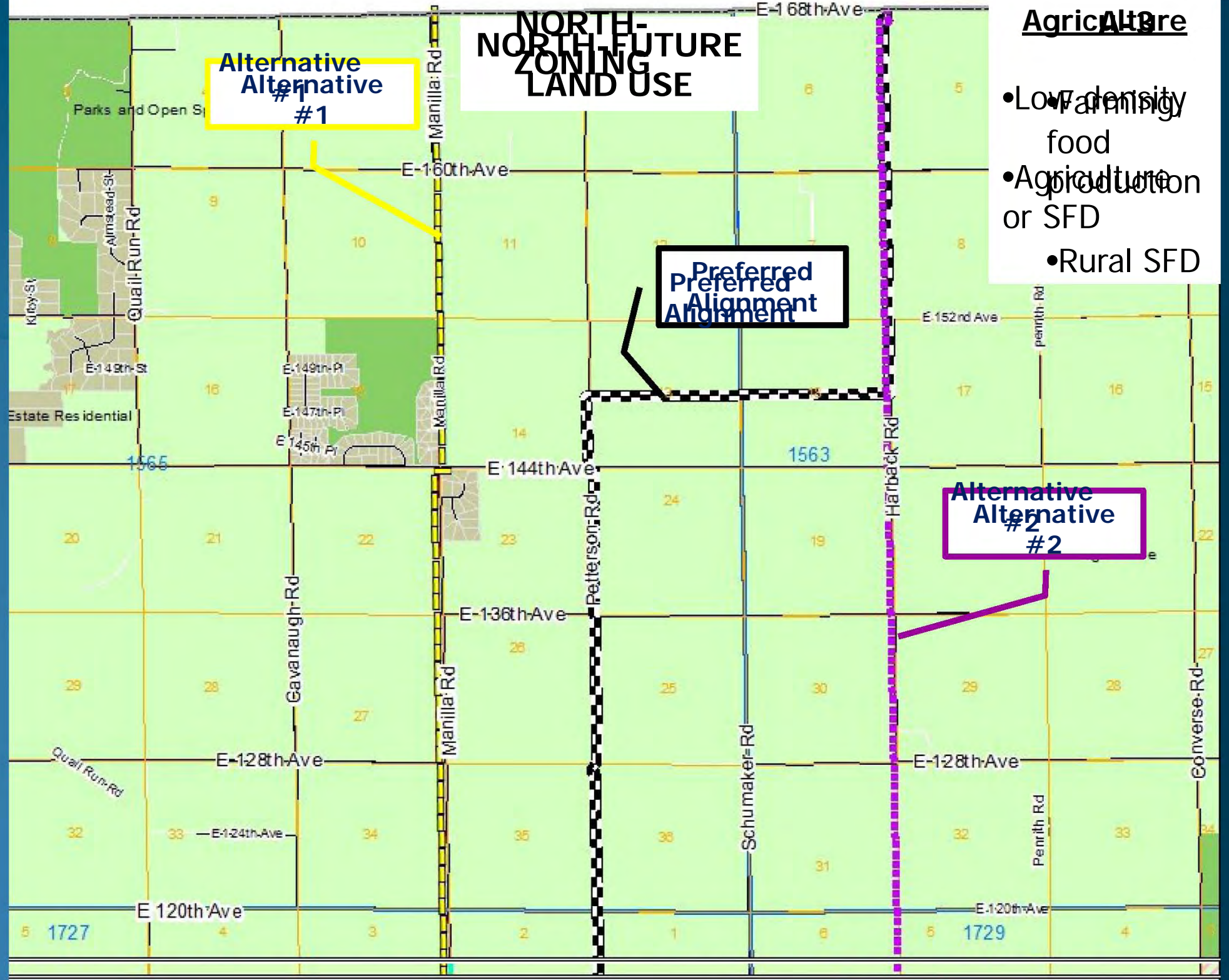
NORTH-FUTURE ZONING LAND USE

Alternative #1

Preferred Alignment

Alternative #2

- Agriculture**
- Low density food production or SFD
 - Rural SFD

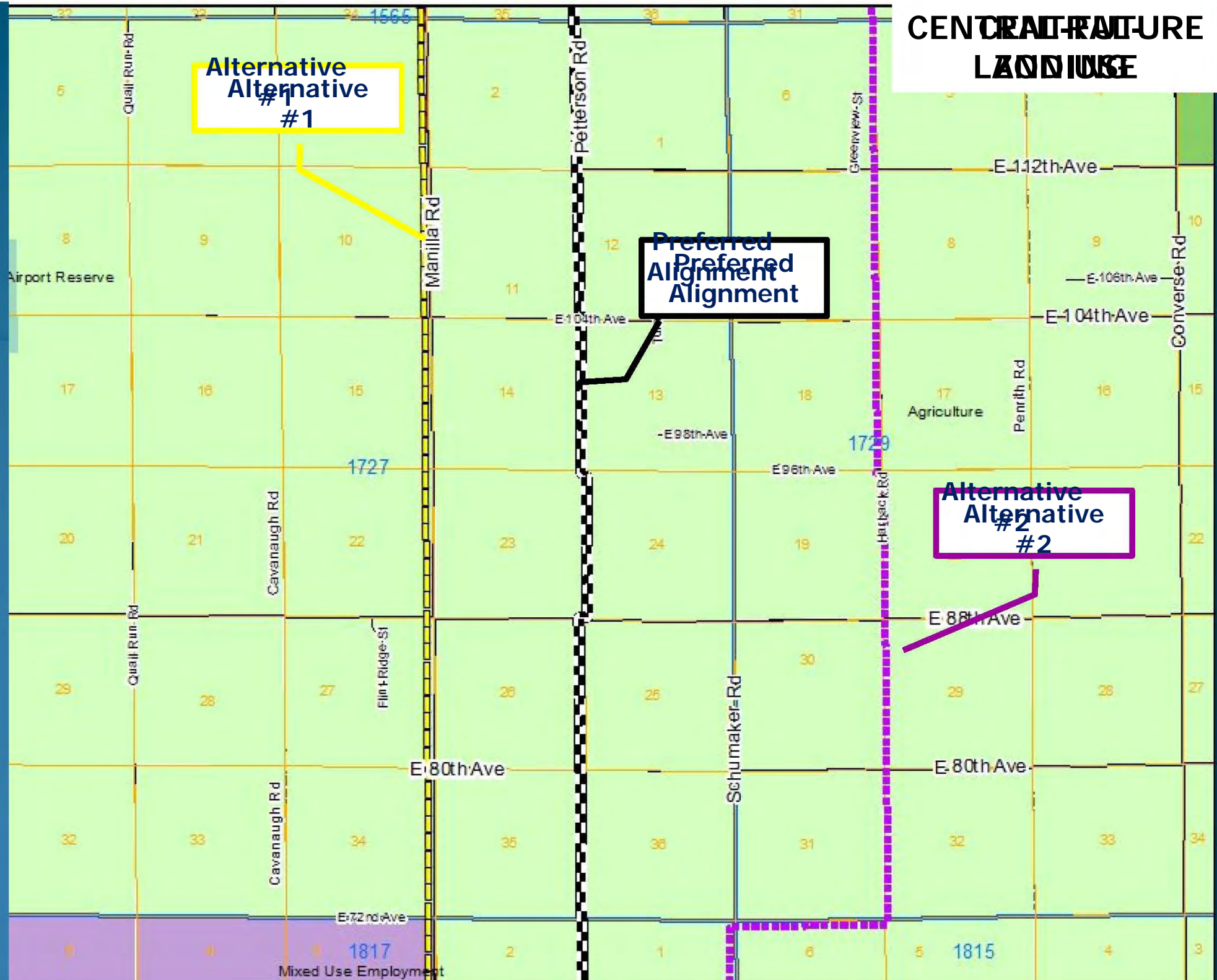


CENTRAL TRACTURE LAND USE

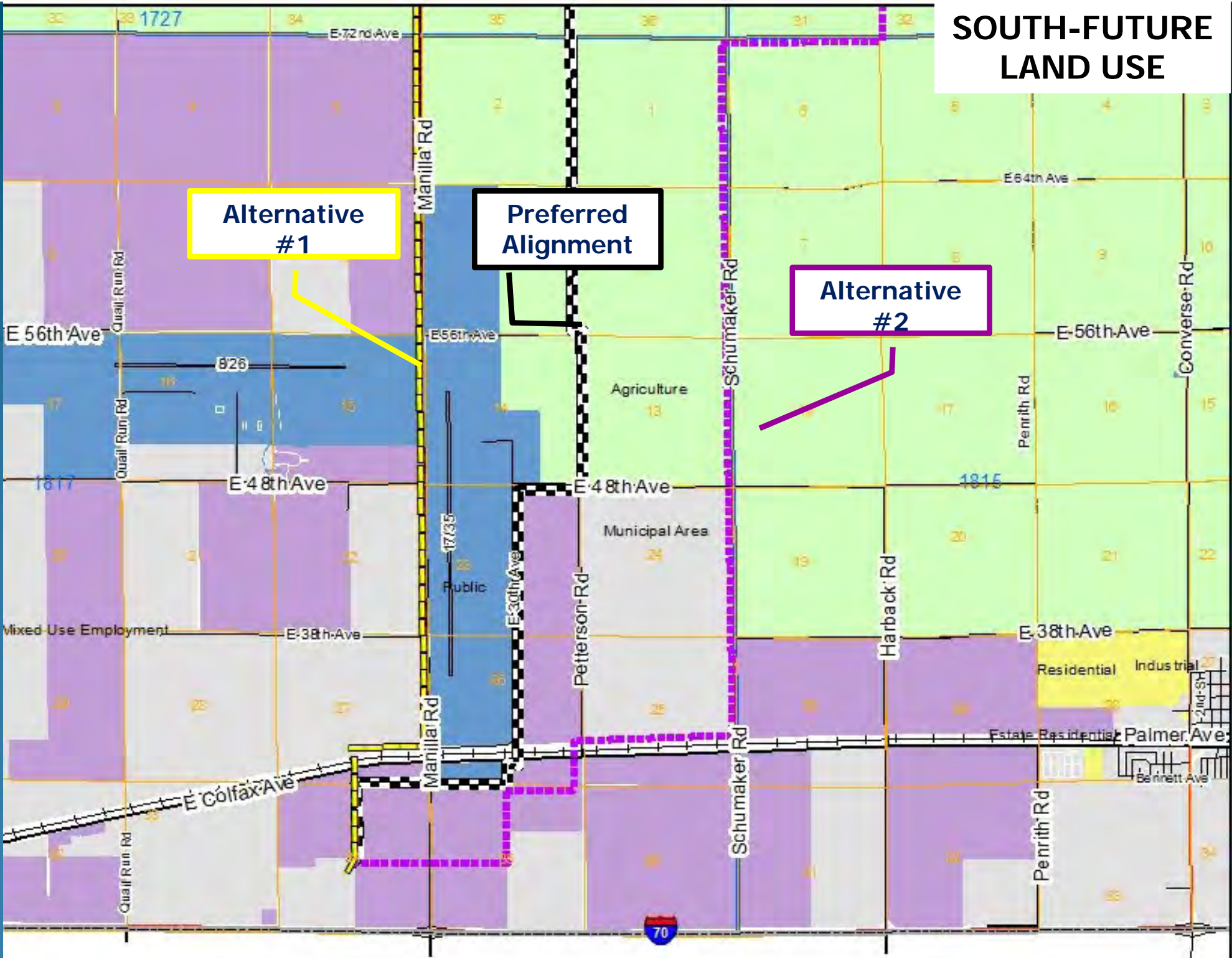
Alternative
Alternative
#1

Preferred
Preferred
Alignment

Alternative
Alternative
#2



SOUTH-FUTURE LAND USE



Background

- Increase in oil and gas production throughout State
- Lack of infrastructure (pipelines) to support new wellpads
- Existing infrastructure nearing or at capacity
- Pipelines reduce truck transportation from wellpads to refineries

Criteria for Conditional Use

Section 2-02-08-06

1. Permitted in zone district
2. Consistent with regulations
3. Comply with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services

Areas and Activities of State Interest

Section 6-07-02

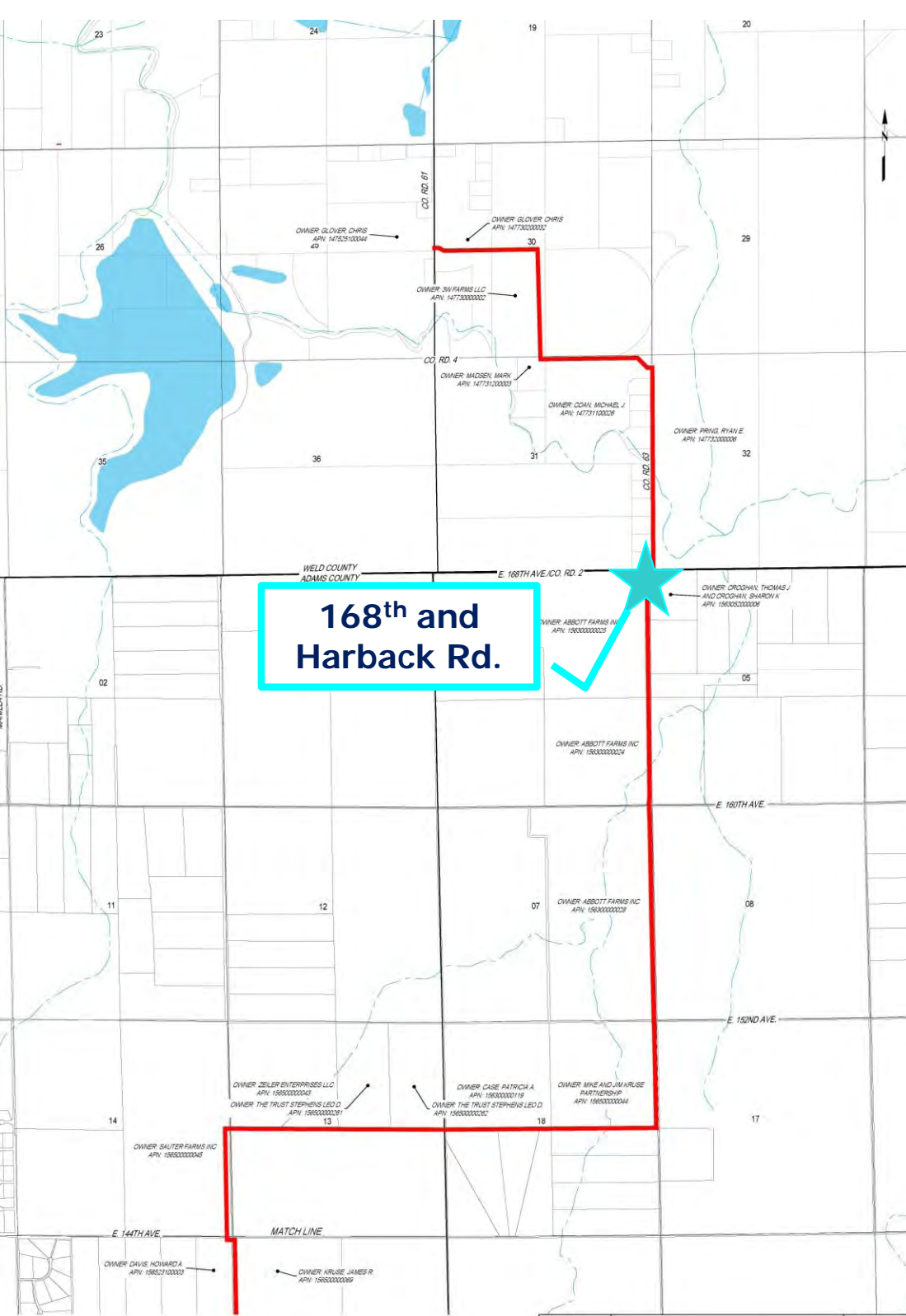
- The project, including at least 3 alternatives
- Property rights, permits, and other approvals
- Financial feasibility of the project
- Land use
- Recreational opportunities
- Environmental impact analysis

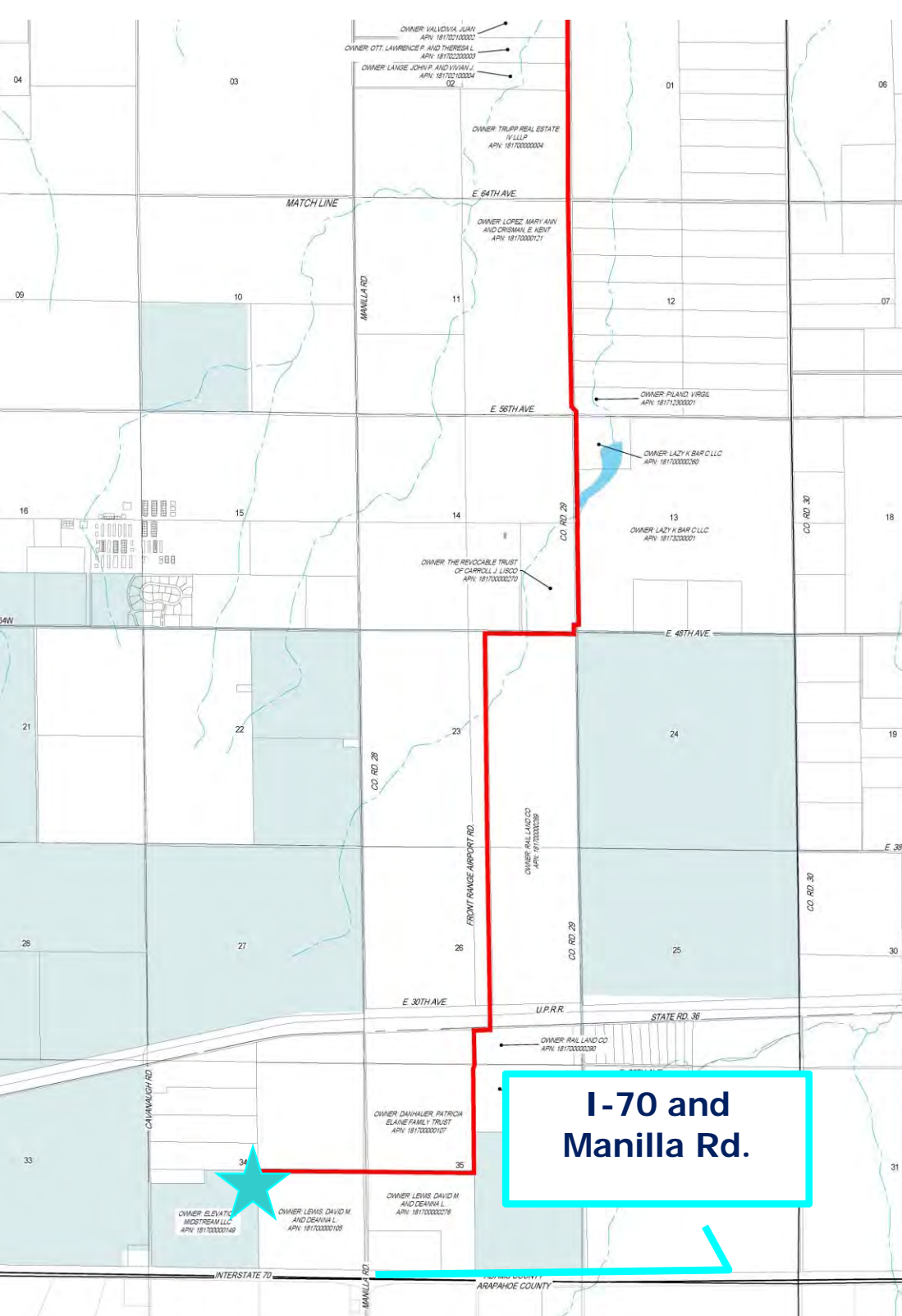
Development Agreement

- Pre-Construction:
 - Submit plans for review and approval
 - Stormwater BMPs
 - Traffic control plans
- Construction:
 - 6 AM to 6 PM Monday through Saturday
 - Responsible for roadway cleanliness adjacent to project
 - Comply with CPW and Tri-County recommendations
- Post-Construction:
 - Restore any disturbed lands
 - Submit "as-built" plans within 120 days
 - Submit emergency response plan

Preferred Alignment

- 21.5 miles (north-south)
- Ends at facility in Weld
- Buried 48"
- Majority of parcels 35+ acres (Ag or SFD uses)
- 22 road crossing
- AIZ & ANO overlays
- Reduces air emissions

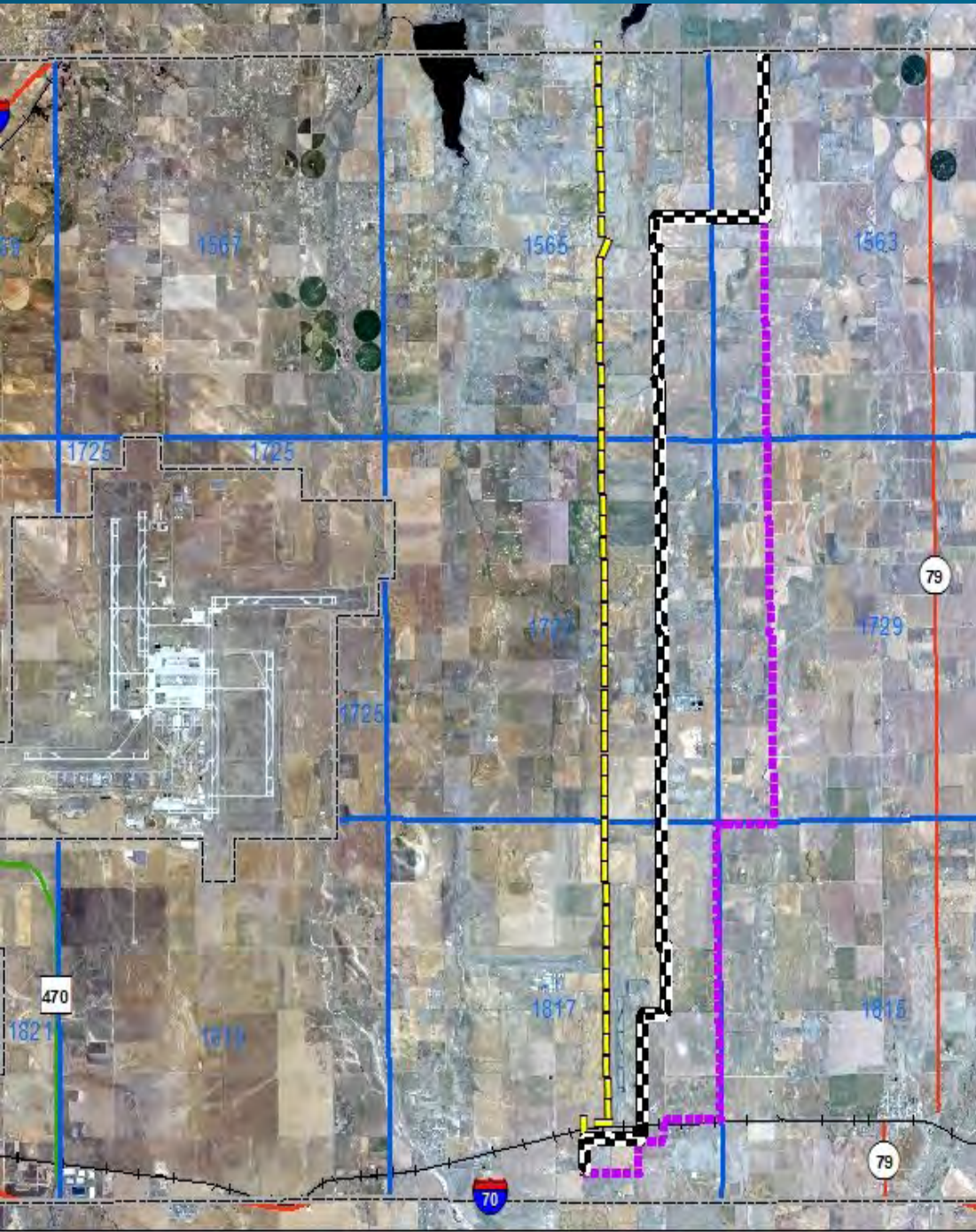




Preferred Alignment

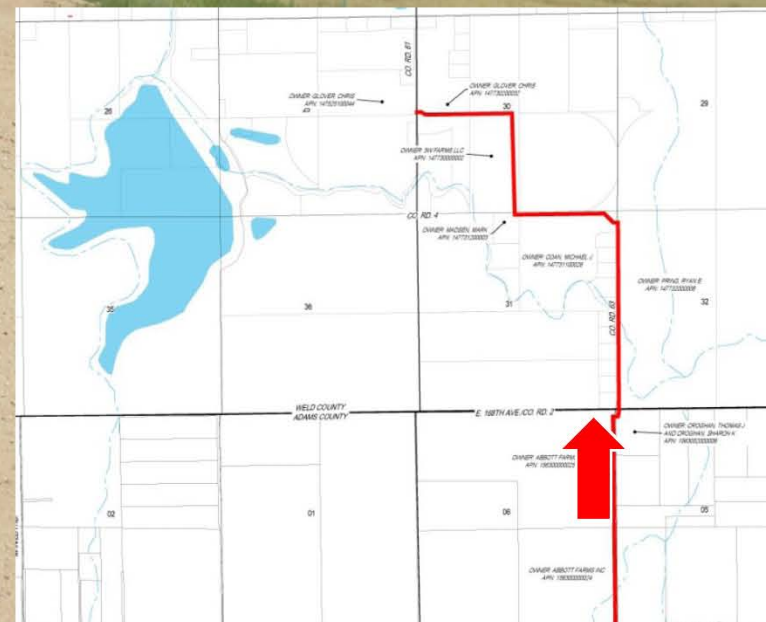
- Does not cross major bodies of water
- Connects to wellpad in City of Aurora
- Minimal noise, odor, traffic post-construction
- 2 alternatives-impacted more residential uses

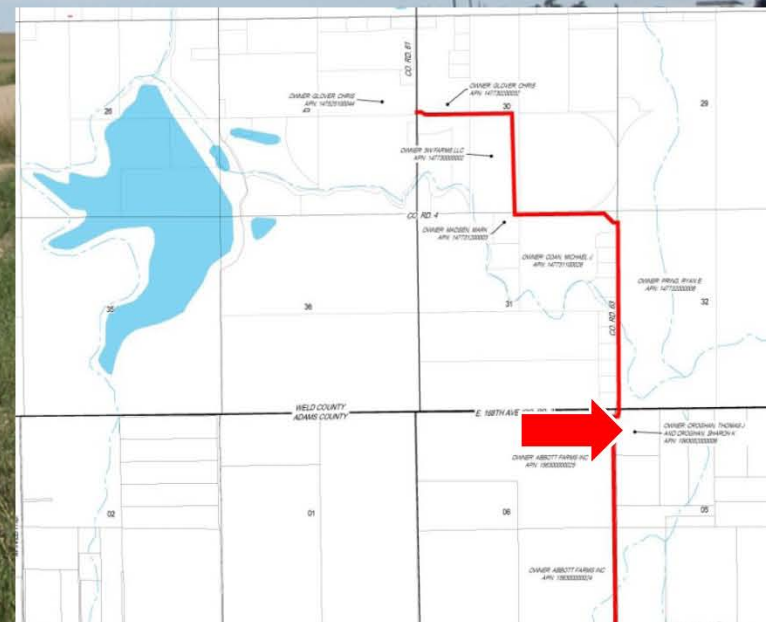
Preferred Alignment

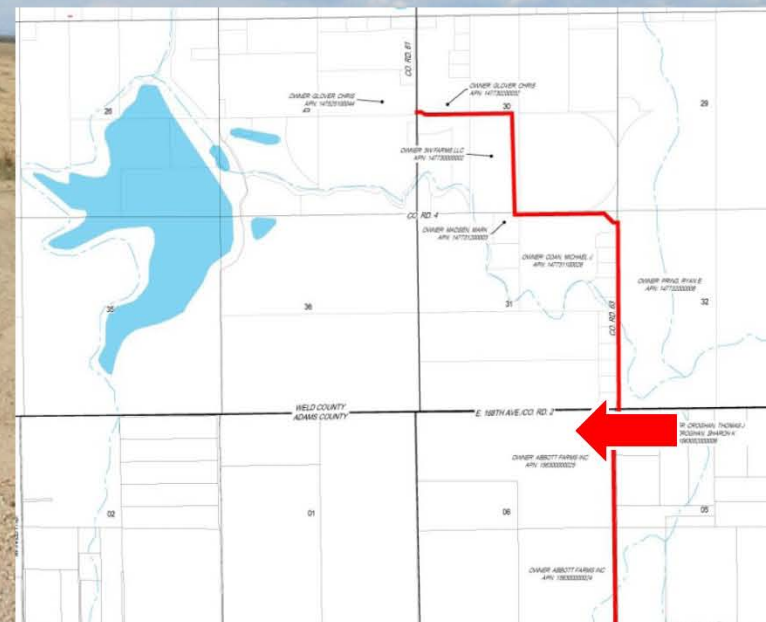
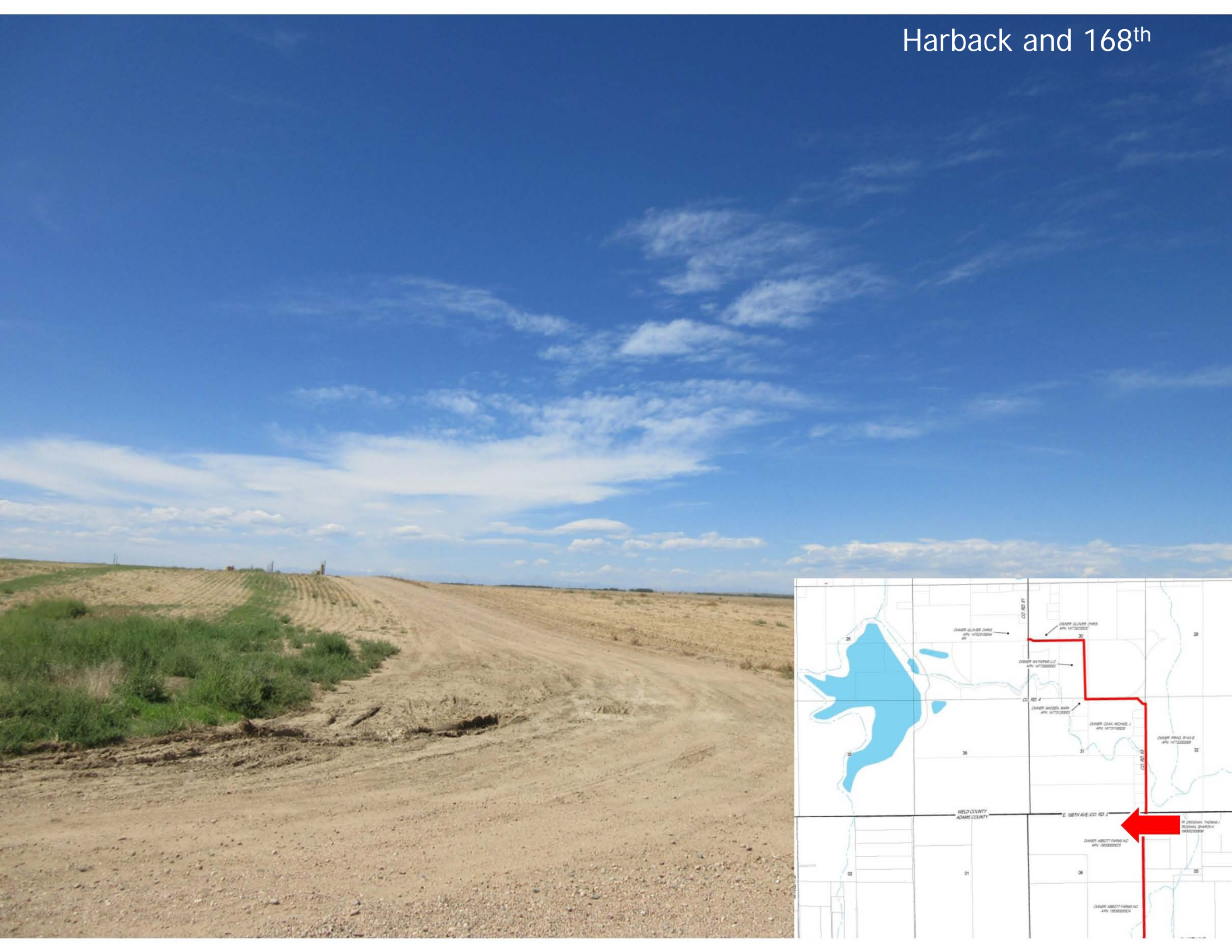


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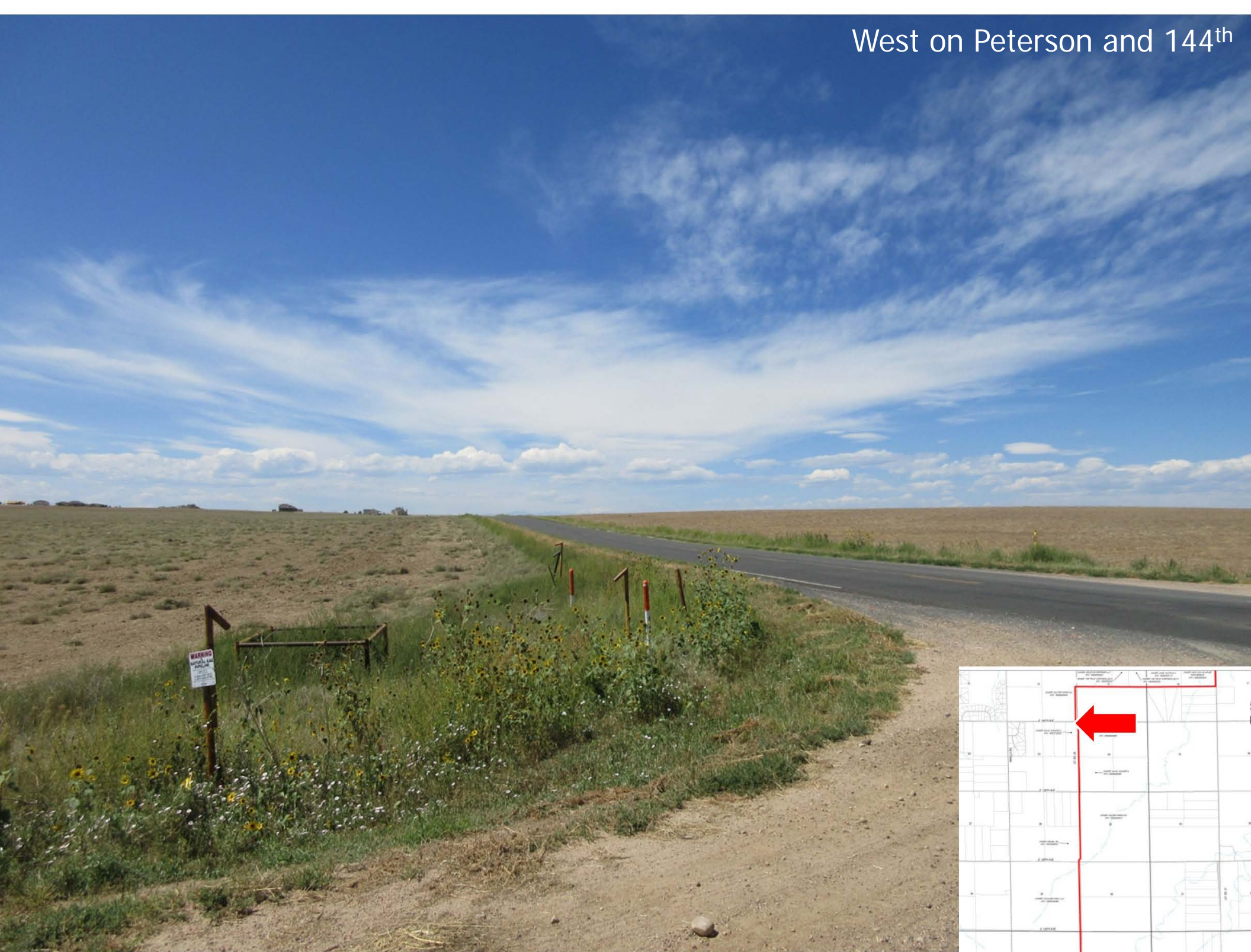
Harback and 168th



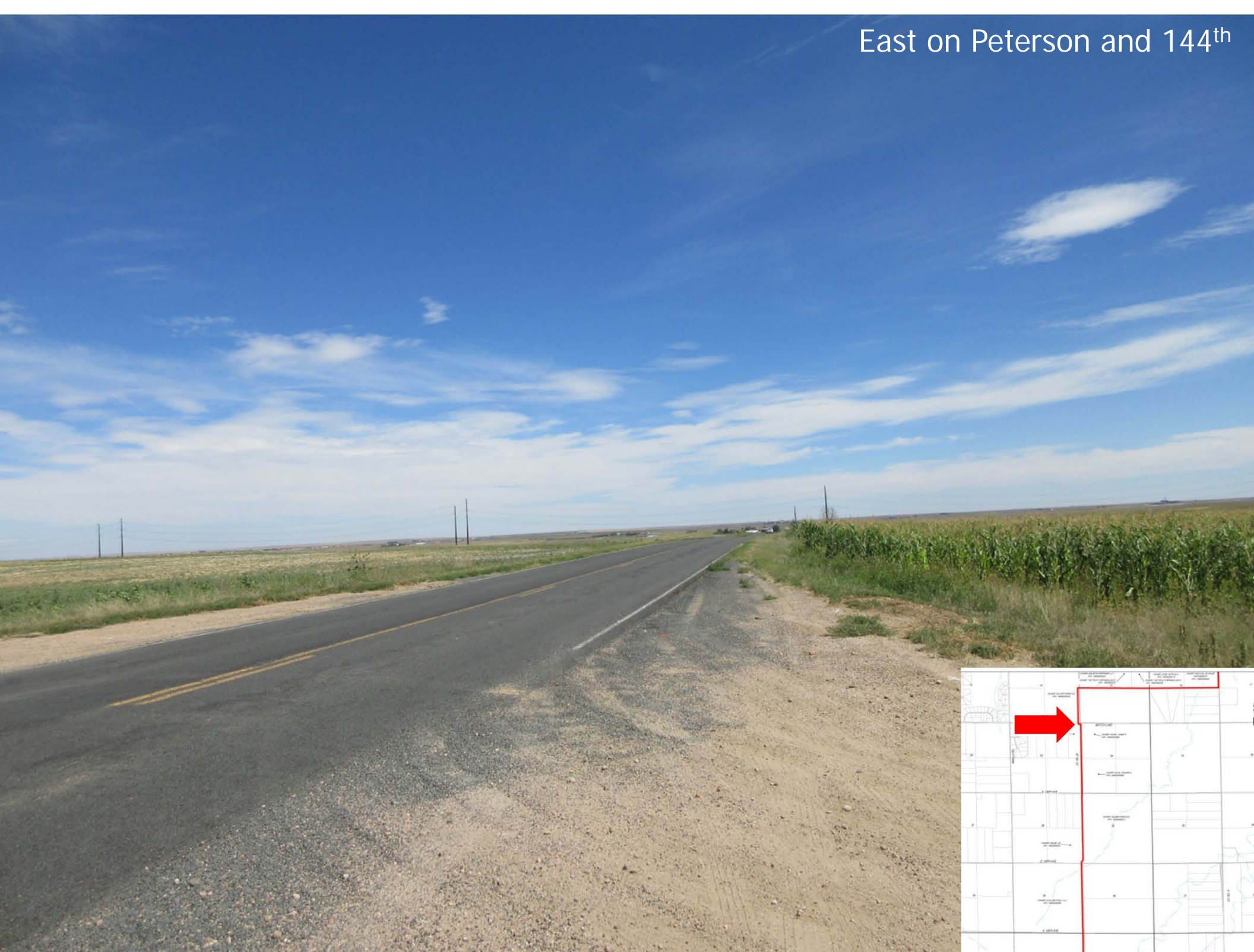




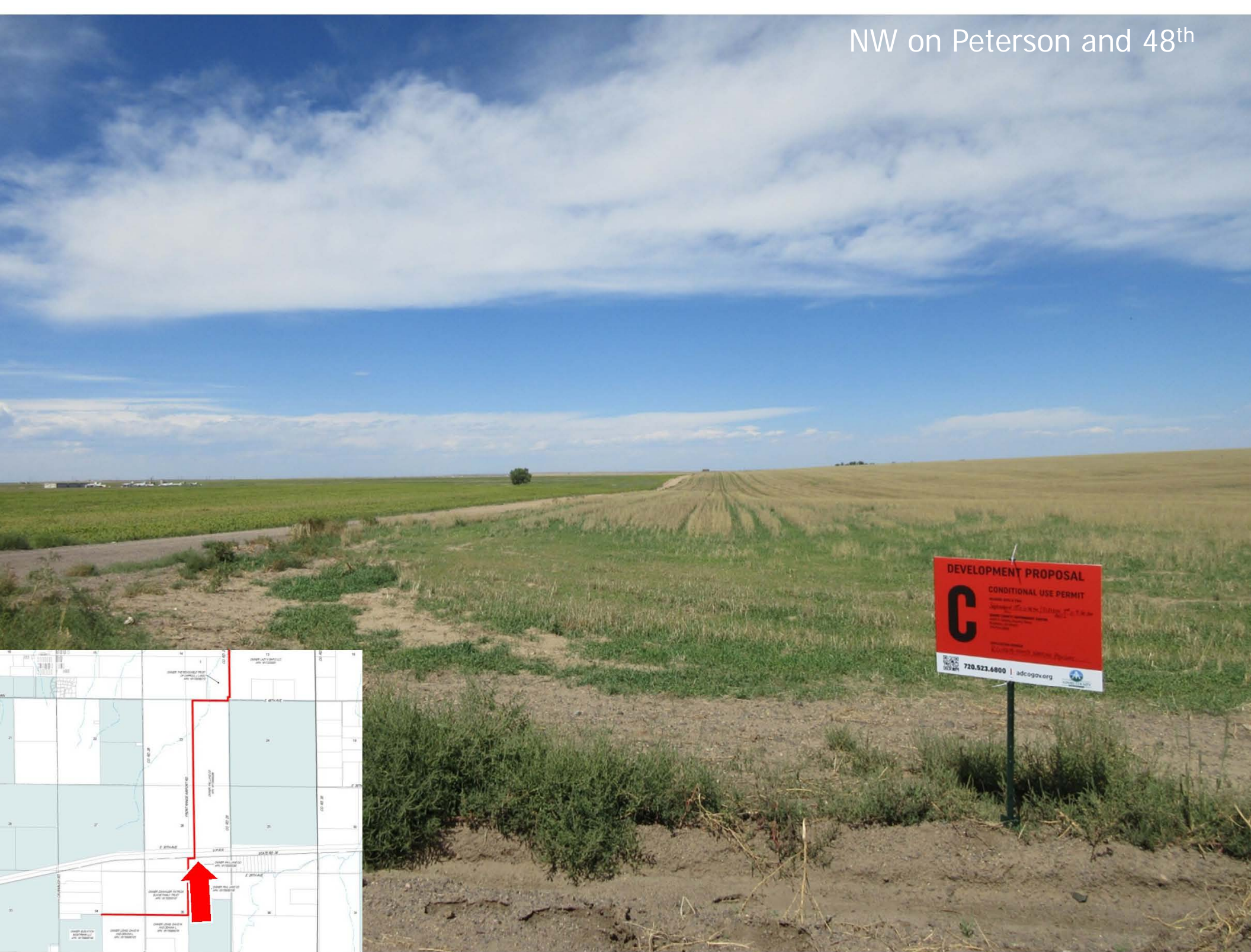




East on Peterson and 144th



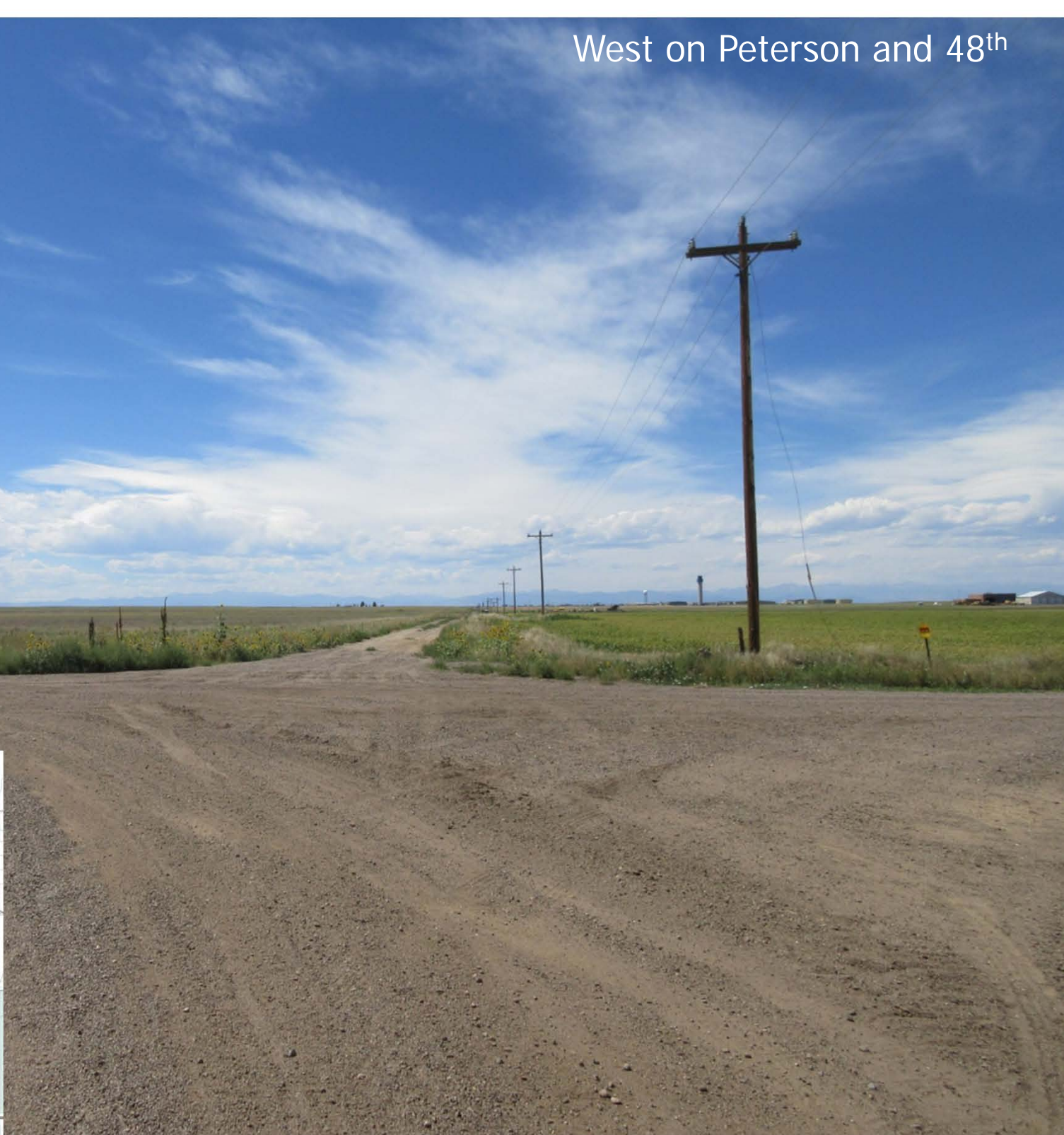
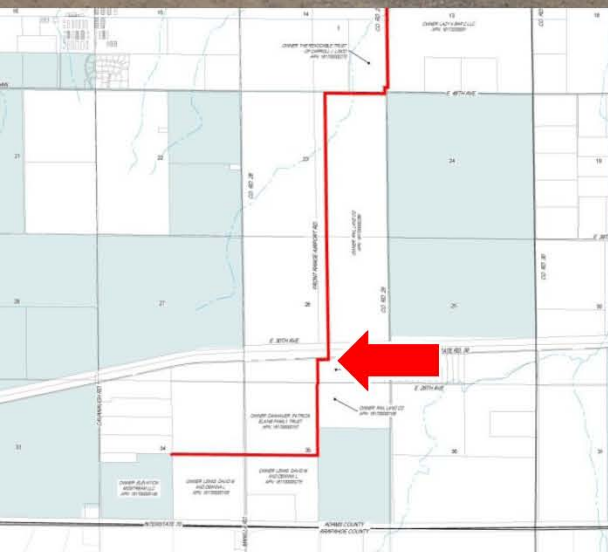




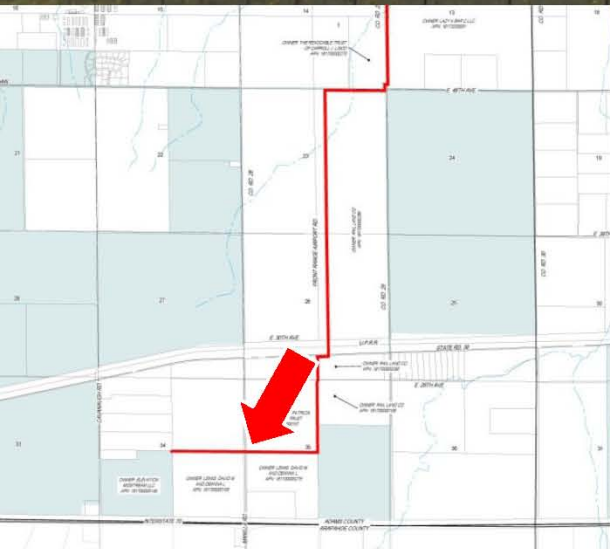
DEVELOPMENT PROPOSAL
C **CONDITIONAL USE PERMIT**
720.523.6800 | adcgov.org



West on Peterson and 48th



SW on Manilla and Colfax



Referral Comments

- Comments:
 - CDOT: permit for construction in state hwy (Colfax Ave)
 - Tri-County: locate all wells and septic areas
 - CPW: construction during nesting season
 - Xcel: transmission lines
- No concerns:
 - United Power, Brighton Fire, CDPHE
- Property Owners and Residents within 1,000 ft:

Notifications Sent	Comments Received
240	3

- Concerns with route (relocated alignment)
- Compressor station located in Weld County

Summary of Analysis

- Harmonious & compatible
- Addressed all off-site impacts
- Site suitable for use
- Not detrimental to health, safety, welfare
- Best alternative to minimize impacts
- Minimal noise, odor, dust, traffic

Recommendation

RCU2018-00013 Watkins Pipeline

Staff recommends Approval based on 33 Findings-of-Fact and 1 condition.

Recommended Condition

1. The applicant shall comply with all terms and conditions of the Development Agreement between Discovery DJ Services, LLC and Adams County.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

CASE NO.: RCU2017-00048

CASE NAME: Mann Lakes Inert Fill

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- 4.2 Referral Comments (Tri-County Health)
- 4.3 Referral Comments (CDOT)
- 4.4 Referral Comments (Commerce City)
- 4.5 Referral Comments (Xcel Energy)
- 4.6 Referral Comments (South Adams Fire)
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None

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- 6.3 Newspaper Publication
- 6.4 Referral Agency Labels
- 6.5 Property Owner Labels
- 6.6 Certificate of Posting

Board of County Commissioners

October 16, 2018

CASE No.: RCU2017-00048	CASE NAME: Mann Lakes Inert Fill
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Owner's Name:	Mann Lakes Holdings, LLC
Applicant's Name:	Mann Lakes Holdings, LLC
Applicant's Address:	2027 W. Colfax Avenue, Denver, CO 80204
Location of Request:	11910 Brighton Rd
Nature of Request:	Conditional Use Permit to allow approximately 256,000 cubic yards of inert fill material on the property
Zone District:	Agriculture-3 (A-3)
Site Size:	44.5904 acres
Proposed Uses:	Inert Fill
Existing Use:	Vacant
Hearing Date(s):	PC: September 20, 2018/ 6:00 pm
	BOCC: October 16, 2018/ 9:30 am
Report Date:	September 21, 2018
Case Manager:	Emily Collins <i>EAC</i>
PC and Staff Recommendation:	APPROVAL with 14 Findings-of-Fact and 15 conditions

SUMMARY OF PREVIOUS APPLICATIONS

On August 6, 1986, the Board of County Commissioners (BoCC) approved a conditional use permit for a sand and gravel mine operation on approximately 109 acres.

On May 23, 1994, the BoCC approved an amendment to the conditional use permit to allow modifications to the mining and reclamation plans and create one groundwater lake instead of two.

On January 7, 2013, the BoCC approved a conditional use permit to allow 320,000 cubic yards of inert material to complete mining reclamation and site grading on the property. This permit expired on January 7, 2018.

SUMMARY OF APPLICATION

Background:

The subject site, which was previously part of the M & G Pit, was mined for sand and gravel deposits. The Board of County Commissioners approved the M & G Pit on August 6, 1986 to allow approximately 76 acres to be mined. On May 23, 1994, the BOCC approved a modification to the mining phasing plan. The amended permit required all mining and reclamation activities to be completed by August 6, 1998. The applicant owns the property and is requesting a conditional use permit for five years to allow approximately 256,000 cubic yards of inert fill materials on the property to complete site grading and mine reclamation on the site. According to the application, the fill materials will be sourced from a variety of sites throughout the Denver metro area and will primarily consist of excavated clean soil. The proposed site plan shows Brighton Road, Highway 85, and E. 120th Avenue will be the primary routes to transport the materials to the site.

Site Characteristics:

The property is approximately 44.5 acres and located at the southeastern corner of E. 120th Parkway and Brighton Road. Currently, the site is undeveloped. Partial reclamation of the property was completed in 2012. Approximately 64,000 cubic yards of inert material was allowed for the partial reclamation. There is a perimeter fence on the property. This is to prevent unauthorized access on the property. According to the applicant, all access points on the property will be gated and locked to prevent unauthorized access.

Development Standards and Regulations Requirements:

The property is zoned Agriculture-3 (A-3). Per Section 3-10-01 of the County's Development Standards, the A-3 areas are intended to provide land primarily in holdings of at least 35 acres for dryland or irrigated farming, pasturage, or other related food production uses. Per Section 2-02-08-02-01 and 3-10-04-05 of the Development Standards, a conditional use permit is required for any inert fill proposed to be over 500,000 cubic yards or with duration greater than 365 days. Section 11-02-283 of the County's Development Standards defines inert material as, "earth, sand, gravel, rock, concrete (which has been in a hardened state for at least sixty days), masonry, asphalt paving fragments which are not located in the water table, and other inert solids including those the Colorado Department of Public Health and Environment may identify by regulation. The criteria for approval for inert fill operations are outlined in Section 2-02-08-06 and 2-02-08-07-04 of the County's Development Standards. Per these requirements, requests for inert fill operations are required to demonstrate the need for the inert operation, as well as compatibility of the request with the County's Comprehensive Plan and Development Standards. The applicant must also provide documentation of the ability to comply with all health standards of the Colorado Department of Public Health and Environment, Tri-County Health and any other relevant agencies. In addition, the requirements also include specifying allowed hours of operation, review of the inert material source, traffic and haul routes, and grading and drainage plans as well as ensuring the operation is conducted in a manner that does not have adverse impacts on surrounding properties.

Conditional Use Permit:

Section 2-02-08-06 of the County's Development Standards and Regulations outlines the criteria for approval of a conditional use permit. These include compliance with the County's Development Standards and Regulations; compatibility with the surrounding area, the request must be permitted in the zone district, and must address all off-site impacts. In addition, the proposed use shall be harmonious with the character of the neighborhood, and must not be detrimental to the immediate area, not detrimental to the future development of the area, not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The conditional use shall not result in excessive traffic generation, noise, vibration, dust, glare, odors, or inappropriate hours of operation. Further, the site must be suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.

According to the applicant, the inert fill operation is required to complete reclamation of the site and comply with the State Division of Reclamation, Mining, and Safety permit. The applicant stated that due to market conditions and unavailability of fill material, only 64,000 cubic yards of inert material was brought to the site prior to expiration of the previous conditional use permit on January 7, 2018. Currently, an estimated additional 256,000 cubic yards of material is needed to achieve final grades that comply with the required reclamation of the site (See exhibit 3.2).

The application documents show there will be minimal to no odor associated with the operation. In addition, all fill materials to be brought on to the site will be uncontaminated. Hours of operation are proposed to be between 7:00 AM and 7:00 PM., Monday through Saturday. Extended hours or additional days for operations shall require review and approval by the Director of Community and Economic Development. Equipment to be used for the inert operation will include loaders, dozers, motor-graders, water trucks, pickup trucks, and similar vehicles and construction equipment. The operation will include dust control systems, such as using water spray on as needed basis. Staff has included a condition of approval to address hours and days of operation, as well as dust control mechanisms.

A trip generation analysis submitted with the application was reviewed by the County's Development Services engineering staff. According to the study, traffic to be generated by the use will be approximately fifty trips per day with a maximum of 200 trips per day. This will be determined by availability of fill materials. The proposed site has two accesses onto Brighton Road. The majority of traffic associated with hauling of the inert fill materials will be through Highway 85 and 120th Avenue. Per Section 4-12-02-09 of the County's Development Standards, the applicant will be required to obtain an access permit for any new proposed entrances onto Brighton Road and all access points must have adequate vehicle tracking control for a minimum distance of 20 feet into the property. This is to keep mud and debris from the County's paved roadways. Per Table 8.2 of the County's Development Standards, access to E.120th Avenue shall not be allowed. From the application document, after completion of the inert fill, the site will be landscaped with low maintenance grass to control erosion

To ensure all fill materials to be transported to the site are clean and uncontaminated; staff has included a condition of approval to require the applicant to submit documentation of the source material for any inert materials to be used on property. The required documentation shall include details of the address of the source inert fill, haul routes, and a signed statement

certifying the fill material is not contaminated from the owner of the source property. Testing of the inert material may also be required, if deemed necessary.

Future Land Use Designation/Comprehensive Plan:

The future land use designation on the property is Urban Residential. Per Chapter 5 of the County’s Comprehensive Plan, the Urban Residential designated areas are intended to provide a variety of housing types, and create and maintain healthy residential neighborhoods. Primary uses in the Urban Residential future land use designation are single and multiple-family housing developed at densities of one dwelling unit per acre or greater. The inert fill operation is required to reclaim the land area used for sand and gravel mining to allow the site to be able to be used for future commercial or residential development, which aligns with the goals of the Comprehensive Plan for urban residential areas.

Surrounding Zoning Designations and Existing Use Activity:

Northwest A-3 Vacant/Drainage Area	North A-3 Single-Family Residential	Northeast A-3 Agricultural
West A-3 Agricultural	Subject Property A-3 Vacant	East A-3 Agricultural
Southwest A-3 Agricultural	South A-3 Single-Family Residential	Southeast A-3 Agricultural

Compatibility with the Surrounding Area:

A majority of the surrounding properties to the site are designated A-3 and are developed with agricultural uses. The property to the south is developed with a single-family dwelling as well as the property to the north, across E. 120th Avenue. From the proposed request, the site will be designed to mitigate potential noise, odor, and traffic that may be associated with the inert fill operation. In addition, the operation will be temporary and expected to be completed in within the next five years.

Referral Comments:

CDOT, City of Commerce City, United Power, South Adams Fire Department, and Xcel Energy reviewed the request and had no concerns. Colorado Department of Public Health and Environment reviewed the request and had no concerns as the fill material meets the definition of environmental media (naturally occurring) and does not include man-made waste such as concrete, brick, or asphalt. Tri-County Health Department reviewed the request and provided the applicant with examples of best management practices for fugitive dust control and stormwater management. Staff is recommending conditions of approval to address ensure these guidelines are followed.

PC Update:

The Planning Commission (PC) considered this case on September 20, 2018 and recommended approval of the request in a 7-0 vote. At the hearing, the PC asked the applicant to further

explain the proposed fill operation and potential long-term use of the property. The PC also asked the applicant to confirm if other dust control measures besides a water truck, as suggested in Tri-County Health Department comments, would be used on the property and also if coal fly ash would be used in the site reclamation.

The applicant informed the PC that a re-development plan for the property has not been determined. However, future development would likely require annexation into the City of Commerce City in order to obtain sanitary sewer service. The applicant also informed the PC that they have several contracts to purchase fill materials for the reclamation and are awaiting approval of the conditional use permit. They also informed the PC that coal fly ash would not be used to fill the site as it is not considered as an inert material. It is also not allowed as a fill material by the State or County. Regarding the dust control, the applicant informed the PC that multiple dust control methods, such as restricted or paved haul roads, would be implemented on the site to comply with the State Air Pollution Emissions Permit (APEN). Staff and the PC is also recommending a condition of approval to require wind monitoring equipment to guide the applicant to cease operations during periods of high wind.

There was no public testimony.

Staff Recommendations:

Based upon the application, the criteria for approval for a conditional use permit, and a recent site visit, PC and staff recommend Approval of this request with 14 findings-of-fact and 15 conditions:

RECOMMENDED FINDINGS OF FACT

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.
9. There is a need for the inert filling operation for the benefit of Adams County.
10. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to

be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.

11. The applicant has documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
12. The proposed inert fill will not cause significant traffic congestion or traffic hazards.
13. The request is compatible with the surrounding area.
14. The site will not impact health and welfare of the community based upon specific fill design and operating procedures.

Recommended Conditions:

1. The conditional use permit shall expire on October 16, 2023 (5 years).
2. The total volume of imported inert fill material shall not exceed 256,000 cubic yards.
3. A “Notice to Proceed” shall be required from Adams County’s Department of Community and Economic Development prior to hauling material from each new source. A “source” application packet shall be submitted to the Department detailing the address of the proposed source property, haul route, and shall include a signed statement from the owner of the source property certifying that the fill material is not contaminated. Testing may be required by Adams County staff should it be deemed necessary.
4. The site shall only accept clean and uncontaminated inert material. A major amendment to this CUP and/or a Certificate of Designation shall be required to import any other types of materials determined not to be inert, as defined by the County’s Development Standards.
5. Fugitive dust control mechanisms must be in place and functioning at all times, including weekends.
6. All accesses to the site shall be outfitted with vehicle tracking pads.
7. Direct access to East 120th Avenue Parkway shall not be allowed.
8. All activities shall follow all required erosion and sediment control measures.
9. The property owner/applicant will be held responsible for the cleanliness and safety of all roadways adjacent to the property. If the roadways are found to be dangerous or not passable due to debris or mud, the Adams County Public Works Department will shut down the project, until the roadway conditions have improved and are deemed acceptable. If the property owner/applicant fails to keep the adjacent roadways clean and free from debris, the Public Works Department has the option to do the required clean up and bill the charges directly to the property owner/applicant.
10. A clean, neat, and orderly appearance shall be maintained on site at all times.

11. Control of the fill materials, keeping records of the sources of the materials used at this site, shall be the responsibility of the applicant. Records concerning sources of fill materials and certifications shall be made available to Adams County inspectors upon request.
12. Adams County staff is authorized to inspect the site during reasonable working hours. The County may give prior notice of the inspection.
13. All fluid spills such as hydraulic and oil from maintenance of equipment shall be removed and disposed of at a facility permitted for such disposal.
14. Hours of operation shall be from 7:00 am to 7:00 pm Monday through Saturday. Longer hours of operation shall only be permitted through review and approval of the Director of Community and Economic Development.
15. Wind monitoring equipment shall be installed and maintained at all times. The facility shall cease operations during periods of high winds. High winds shall be defined as when wind speeds exceed 35 mph or when sustained wind speeds exceed 25mph.

ALTERNATIVE RECOMMENDED FINDINGS OF FACT FOR DENIAL

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is not consistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is not compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is not suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are not to be available and adequate to serve the needs of the conditional use as designed and proposed.
9. There is a need for the inert filling operation for the benefit of Adams County.
10. The request is not compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
11. The applicant has not documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
12. The proposed inert fill will cause significant traffic congestion or traffic hazards.
13. The request is not compatible with the surrounding area.

14. The site will impact health and welfare of the community based upon specific fill design and operating procedures.

CITIZEN COMMENTS

Notifications Sent	Comments Received
37	0

Property owners within fifteen hundred (1,500) feet of the property were notified of the subject request. As of writing this report, staff has not received any comments in regards to this application.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

None

Responding without Concerns:

Tri County Health Department
Colorado Department of Transportation
Colorado Department of Public Health and Environment
City of Commerce City
South Adams County Fire
United Power
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Brighton School District 27J
Century Link
Colorado Division of Wildlife
Colorado Department of Public Health and Environment
Fulton Ditch
Metrowaste Water Reclamation
South Adams County Water and Sanitation District



LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- ⊞ Airport Noise Overlay

Mann Lakes Inert Fill
RCU2017-00048

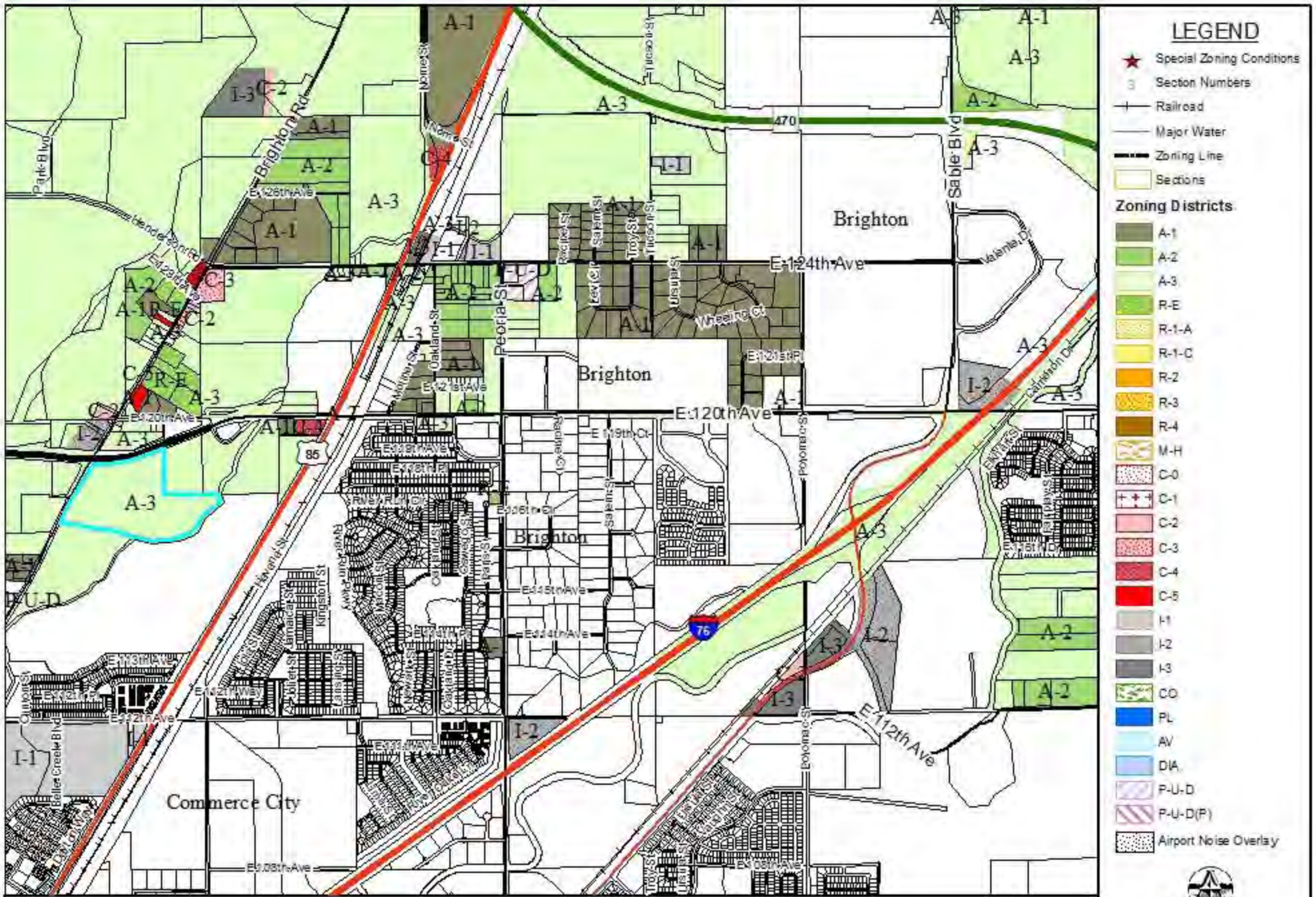
Exhibit 2.1



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



LEGEND

- ★ Special Zoning Conditions
 - Section Numbers
 - Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - Airport Noise Overlay

Mann Lakes Inert Fill
RCU2017-00048

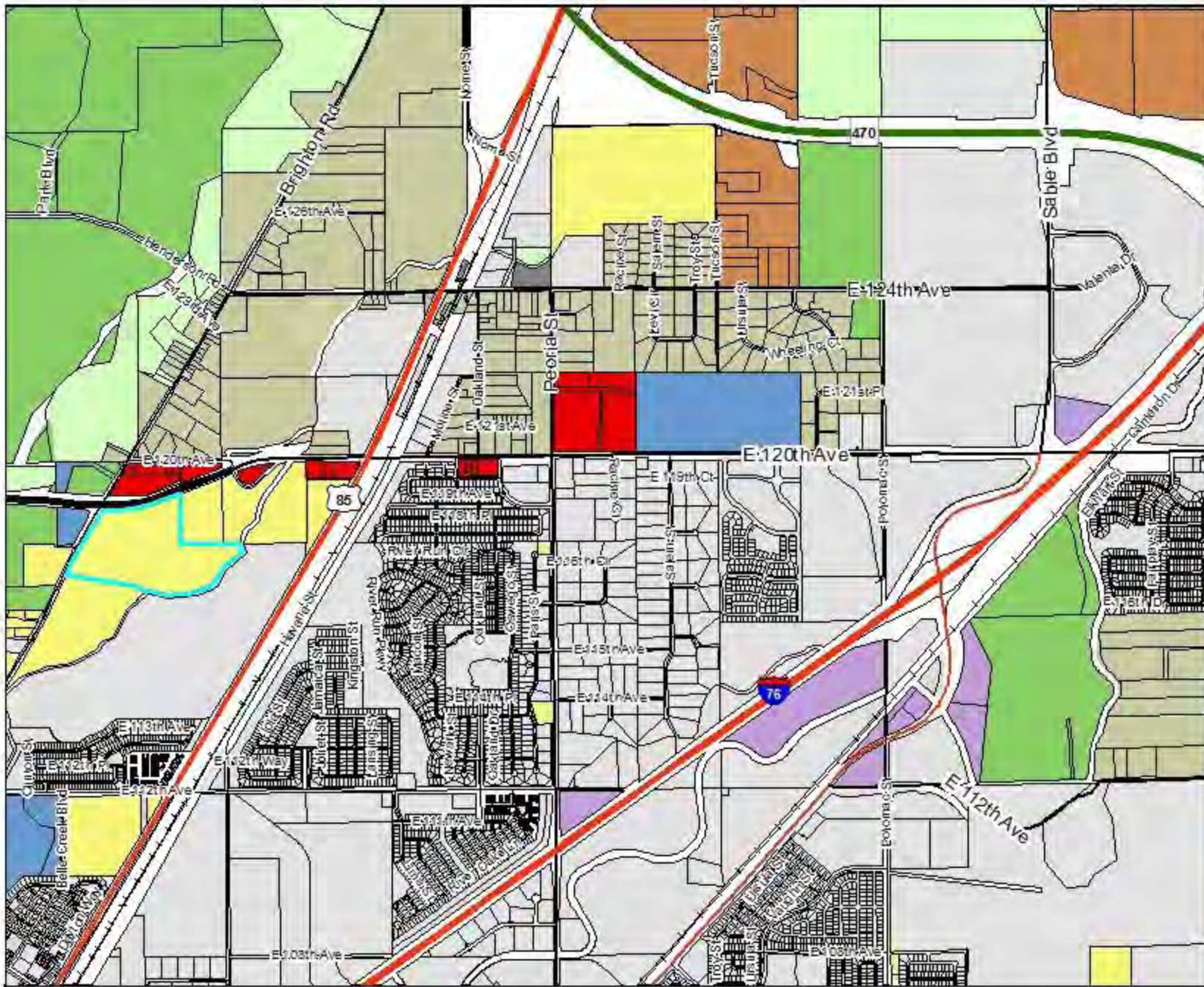
Exhibit 2.2



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



LEGEND

- ★ Special Zoning Conditions
 - 3 Section Numbers
 - Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - F-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - Airport Noise Overlay

Mann Lakes Inert Fill
RCU2017-00048

Exhibit 2.3



For display purposes only.



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3. WRITTEN EXPLANATION OF THE PROJECT

MANN PROPERTY-SE CORNER 120TH PARKWAY

Project Description:

The Mann Fill property (the "Property") located at the southeast corner of 120th Parkway and Brighton Road, Parcel Number 0172103103004SE was issued a Conditional Use Permit for approximately 320,000 cubic yards of inert fill to Mann Resources, LLC on 44+ acres by the Board of Commissioners for Adams County on January 7, 2013.

The Property is zoned A-3 with a Rural Estate-Agricultural Comprehensive Plan designation, an address of 11910 Brighton Road. The Property is within the City of Commerce City's growth area, but has not yet been annexed into the City. The Property is part of a former sand and gravel mining operation permitted under County Permit 41-94 CA which left +/-70 acres of an open unsealed lake area, and areas both above and below the existing ground water requiring fill to create a useable site for development and reclamation of the mine. Mann Lake Holdings, LLC purchased 44.59 Acres of the Property on July 18th, 2017.

The County permitted the import of uncontaminated inert fill for reclamation of the mine. Since mining was completed, +/-30 acres have been gradually filled below and above the water level with clean uncontaminated soil from the Denver Water Board's Howe Pit located directly to the west across Brighton Road, and other approved sources. Due to market conditions and unavailability of fill material following the issuance of the Conditional Use Permit, the previous owner was only able to complete approximately 64,000 cubic yards of the previously permitted 320,000 cyds. In order to achieve proposed final grades under the current Conditional Use Permit, there is an outstanding volume of import of +/- 256,000 cubic yards to achieve the 320,000 cyds of permitted clean uncontaminated soil. This volume is to complete our obligations under the Mining Reclamation Agreement with the State, which is a bonded agreement to complete the reclamation.

Mann Lake Holdings, LLC requests that the Conditional Use Permit is issued to complete the fills in accordance with Case Number RCU2012-00026 and satisfy the M & G Pit, M-1986-079, Succession of Operators/Permit Transfer by the Colorado Division of Reclamation, Mining and Safety.

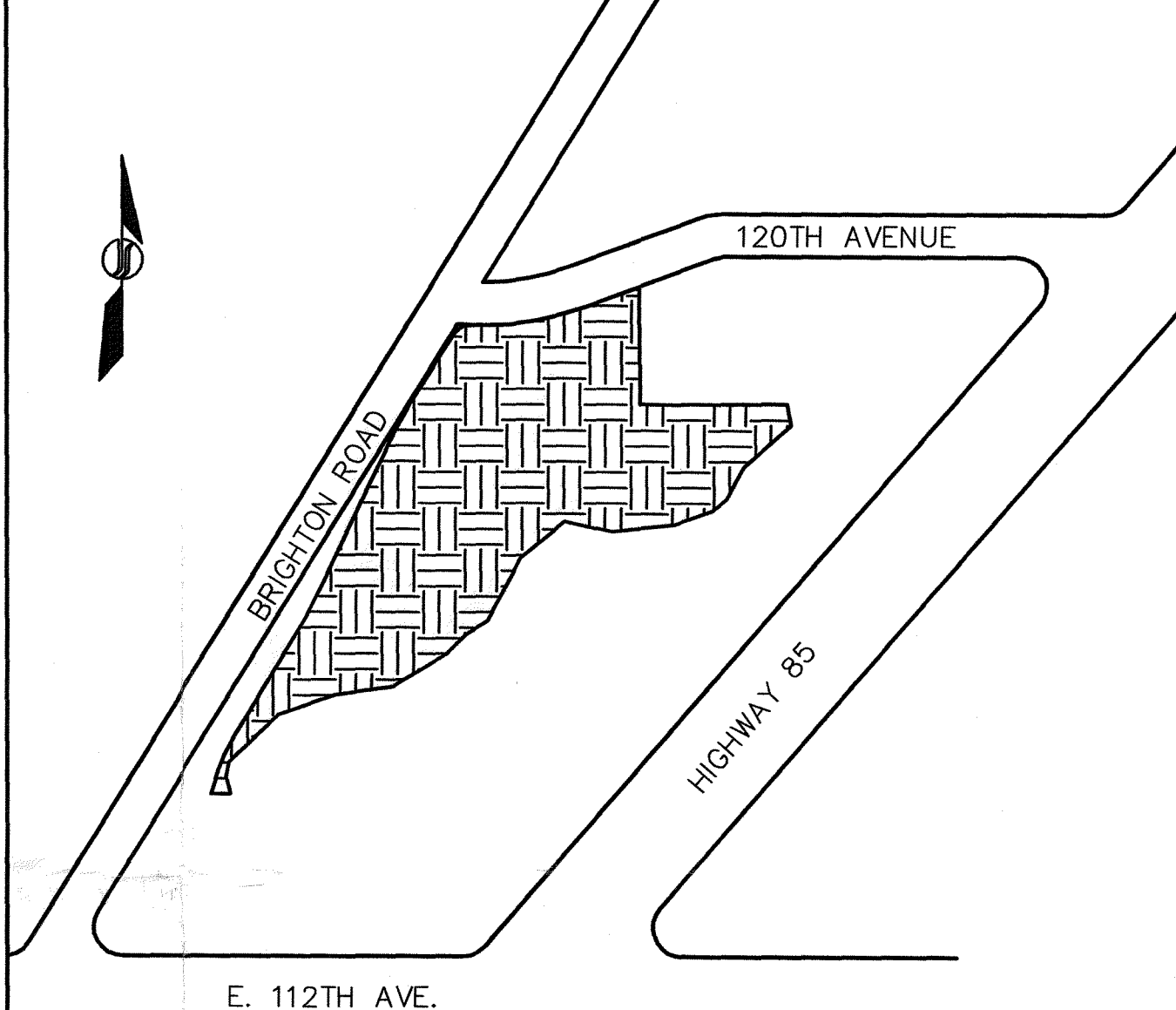
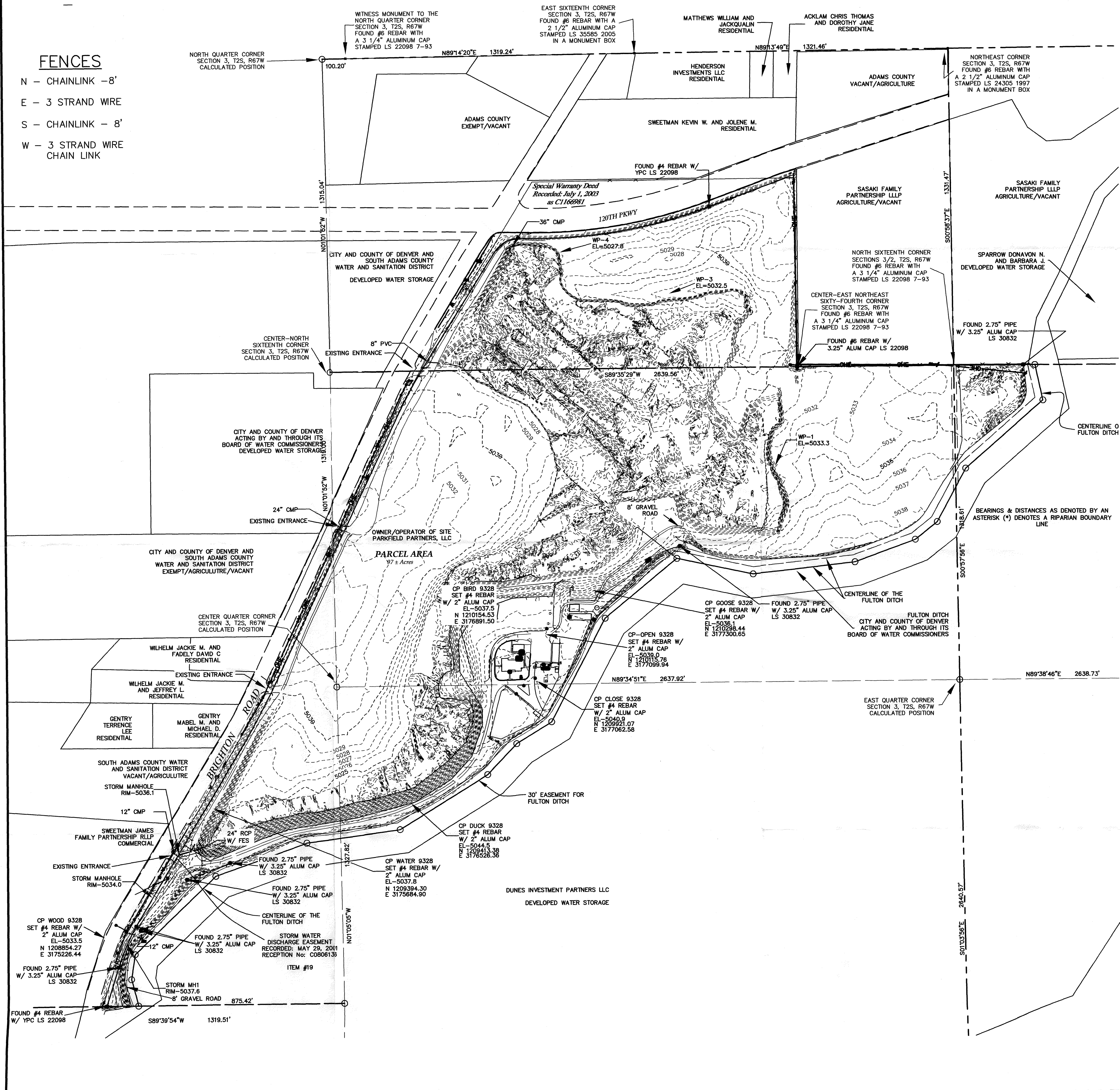
SUPPLEMENTAL ITEMS

Traffic Generation Analysis

The site had five entrances off of Brighton Road and one off of 120th Ave Parkway, but only two access points off of Brighton Road will be utilized for filling operations with the access points having Vehicle Traffic Control (VTC) measures installed to minimize mud being tracked onto abutting roads. The site is fenced to control unauthorized access and will be gated/locked to prevent unauthorized access except during hauling operations. Most of the traffic to and from the Site will travel south from 120th Ave Parkway to Brighton Road and use one of the two Brighton Road entrances. Approximately 80% of the traffic accessing the site is expected to come from US 85 along 120th Ave Parkway from roadway/construction sites with excess clean uncontaminated soil that is appropriate to reclaim the existing mine. The traffic trips generated will average 50 per day but can vary from 0 to 200 trips/day which is approximately the same as what was historically typical during the mining operations of the property. Fill operations at the site, as demand warrants, will be allowed from 7:00 AM to 7:00 PM Monday through Saturday, except by temporary use permit by the Planning Director for Sunday operations or extended hours for projects requiring overnight operations or Sunday operations.

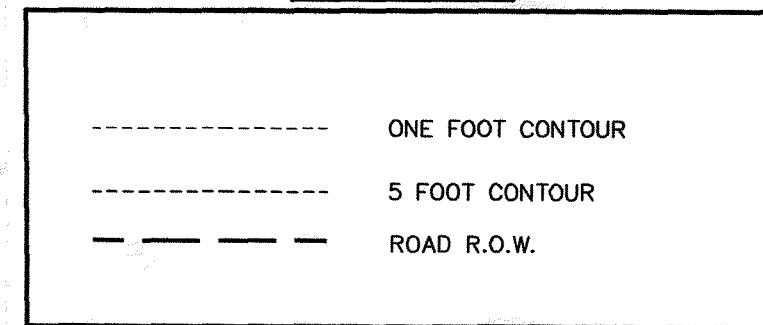
FENCES

- N - CHAINLINK - 8'
- E - 3 STRAND WIRE
- S - CHAINLINK - 8'
- W - 3 STRAND WIRE CHAIN LINK



VICINITY MAP
N.T.S.

LEGEND



PROPOSED INERT FILL AREA = 44.18 ± ACRES

PROPERTY DESCRIPTION: PART OF LOT 1 M&G PIT SUBDIVISION (REC NO.2008-081), COUNTY OF ADAMS, STATE OF COLORADO

THE REVIEW IS FOR GENERAL COMPLIANCE WITH ADAMS COUNTY STANDARDS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS. THE SOLE RESPONSIBILITY FOR COMPLETENESS AND ACCURACY OF THE CONSTRUCTION DOCUMENTS SHALL REMAIN WITH THE PROJECT PRINCIPALS AND REGISTERED PROFESSIONAL ENGINEER SEALING THE PLANS. ADAMS COUNTY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

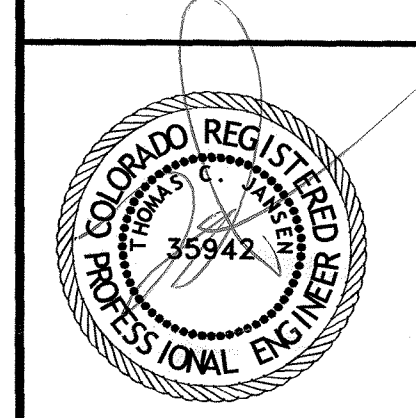
Public Works Plan Review

Each section will sign off on the attached plans, if applicable
Case Name: *11/11/11 Property*
File Number: *WTF2012-00093*

	APPROVED	RESUBMIT	DATE
Development Review	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>12/10/12</i>
ROW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>12-12-12</i>
Stormwater Review	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>12-17-12</i>
Construction Mgmt.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>12-17-12</i>
Traffic	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>12/23/12 w/conditns</i>
Engineering Mgr.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>1-30-13</i>
PW Director	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Requirements for all permit conditions must be met by the applicants.

JANSEN STRAWN
CONSULTING ENGINEERS
45 WEST 2ND AVENUE
DENVER, CO 80202
P.303.561.3333
F.303.561.3339



Dec 10, 2012
FOR AND ON BEHALF OF
JANSEN STRAWN CONSULTING ENGINEERS, INC.
BENCHMARK:
NGS POINT K 260
ELEV. 5052.27
(NAVD 88 DATUM)

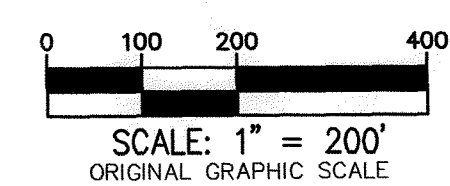
Date	By	Description of Revisions
12-10-2012	KOG	2 County Comments
09-28-2012	KOG	1 County Comments

Designed By: KOG
Checked By: TJ

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

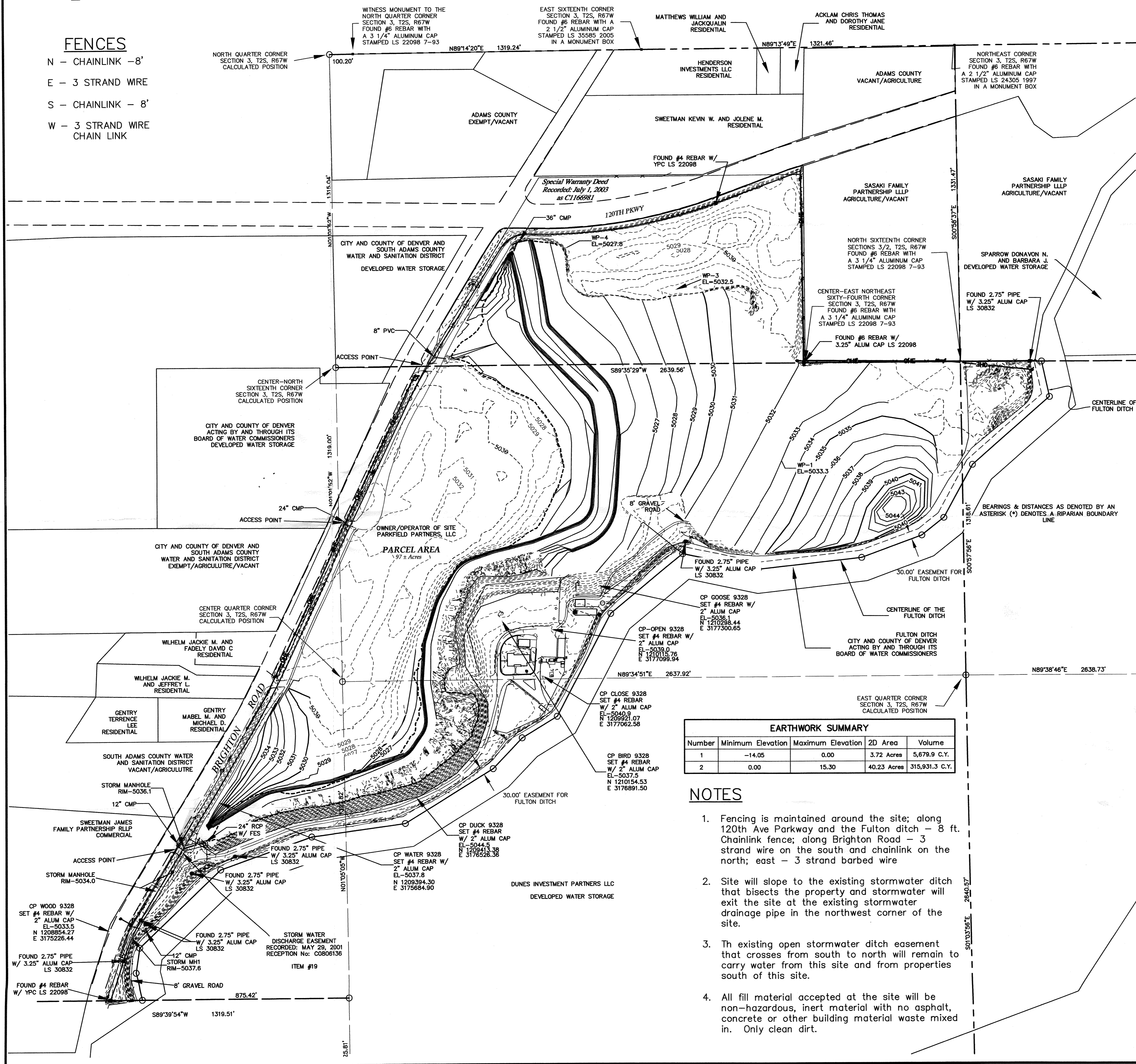
**MAN PROPERTY
CLEAN SOIL FILL
EXISTING CONDITIONS MAP**

Scale: 1" = 200'
Date: JULY 3, 2012
Job No.: 9018
Sheet 1 of 5



FENCES

- N - CHAINLINK - 8'
- E - 3 STRAND WIRE
- S - CHAINLINK - 8'
- W - 3 STRAND WIRE CHAIN LINK

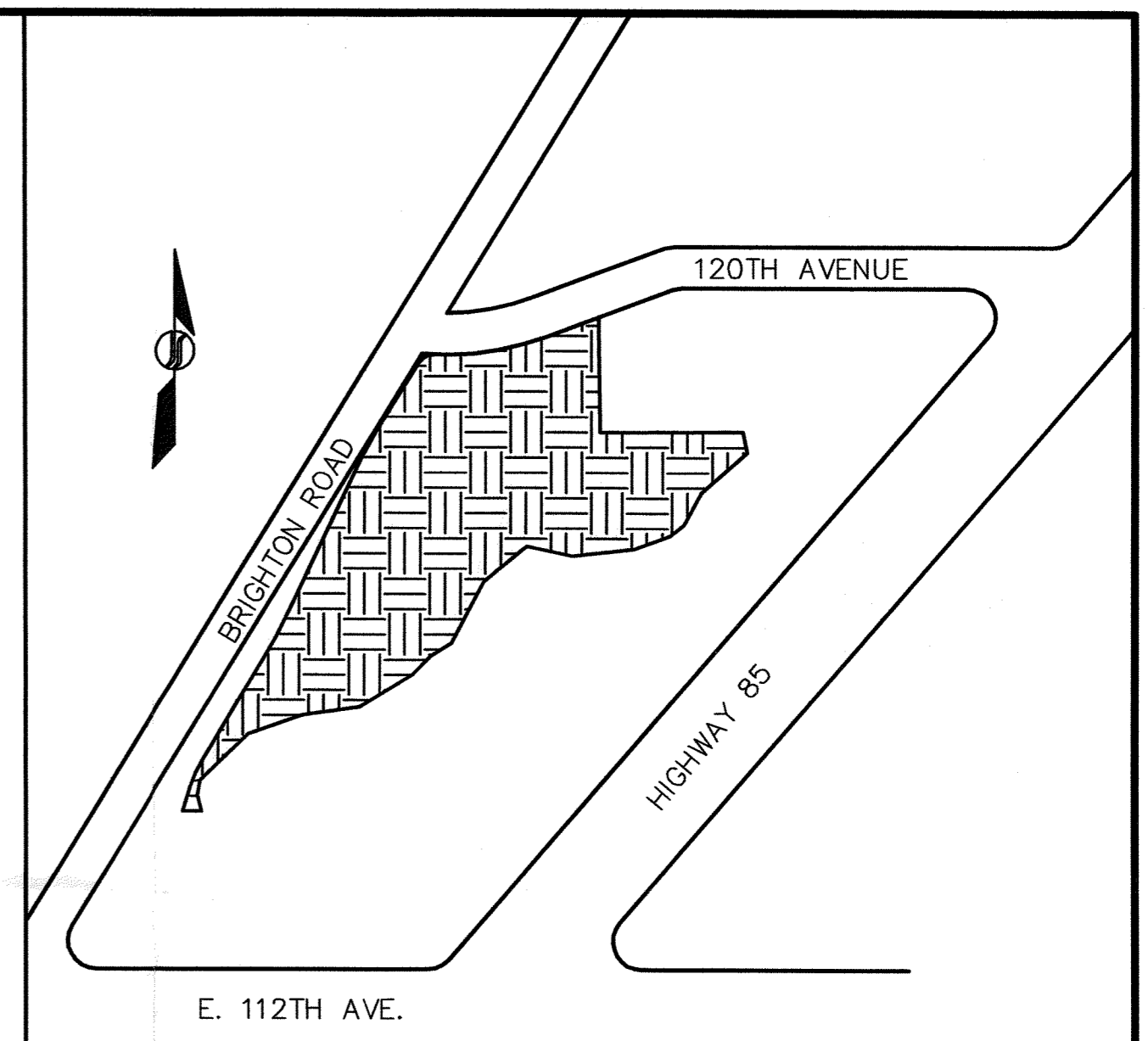


EARTHWORK SUMMARY

Number	Minimum Elevation	Maximum Elevation	2D Area	Volume
1	-14.05	0.00	3.72 Acres	5,679.9 C.Y.
2	0.00	15.30	40.23 Acres	315,931.3 C.Y.

NOTES

1. Fencing is maintained around the site; along 120th Ave Parkway and the Fulton ditch - 8 ft. Chainlink fence; along Brighton Road - 3 strand wire on the south and chainlink on the north; east - 3 strand barbed wire
2. Site will slope to the existing stormwater ditch that bisects the property and stormwater will exit the site at the existing stormwater drainage pipe in the northwest corner of the site.
3. The existing open stormwater ditch easement that crosses from south to north will remain to carry water from this site and from properties south of this site.
4. All fill material accepted at the site will be non-hazardous, inert material with no asphalt, concrete or other building material waste mixed in. Only clean dirt.



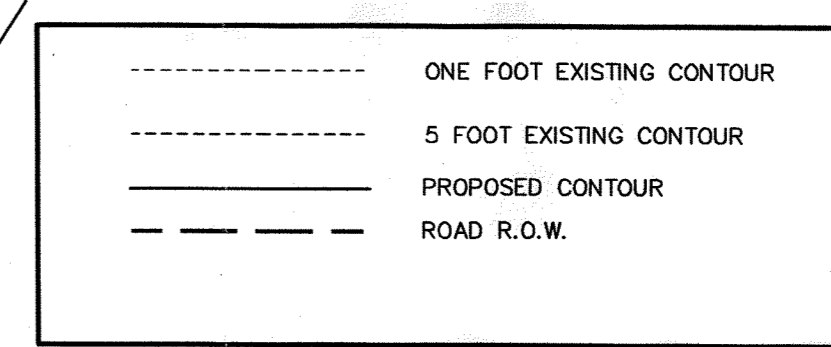
VICINITY MAP
N.T.S.

NOTES

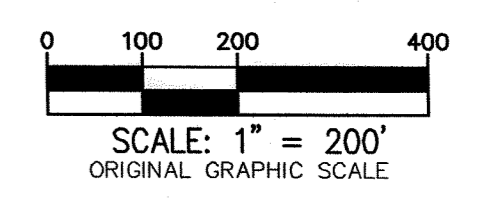
1. When backfilling is complete the site will be reclaimed as approved in the existing Mined Land Reclamation Board permit M-1986-079.
2. As filling is completed on section of the fill area that will not be redisturbed reclamation will begin by grading shaping and reseeding the area.
3. All slopes will be graded 3h to 1v or less.
4. Existing open stormwater ditch easement that crosses from south to north will remain to carry water from this site and from properties south of this site.
5. A minimum of 6 inches of topsoil/growth medium will be spread over the area to be seeded.
6. Control of noxious weed will be ongoing at the site to prevent them taking over the seed beds. This will be done by mowing, spraying and tilling as needed. Any one or all of the methods may be used depending on site conditions.
7. Soils will be tested and fertilizer will be added if soil tests suggest it is needed.
8. The following seed mix and rate will be drilled during favorable times to assure success.

Species	Pounds Per ac
Western wheatgrass, Barton	3.20
Streambank wheatgrass, Sodra	1.10
Slender wheatgrass, common	1.10
Switchgrass, Blackwell	0.50
Little bluestem, Pastura	0.70
Blue grama, Lovington	0.60
Sideoats grama, Vaughn	0.90
Cicer Milkvetch, Monarch	1.30
Total PLS	9.40

LEGEND



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JANSEN STRAWN
CONSULTING ENGINEERS
45 WEST 2ND AVENUE
DENVER, CO 80202
P. 303.561.3333
F. 303.561.3339



Dec 10, 2012
FOR AND ON BEHALF OF
JANSEN STRAWN CONSULTING ENGINEERS, INC.

BENCHMARK:

NGS POINT K260
ELEV. 5052.27
(NAVD 88 DATUM)

County Comments	County Comments	Date	By
2	1	12-10-2012	KCG
		09-25-2012	KCG

Designated By: KCG
Checked By: TJ

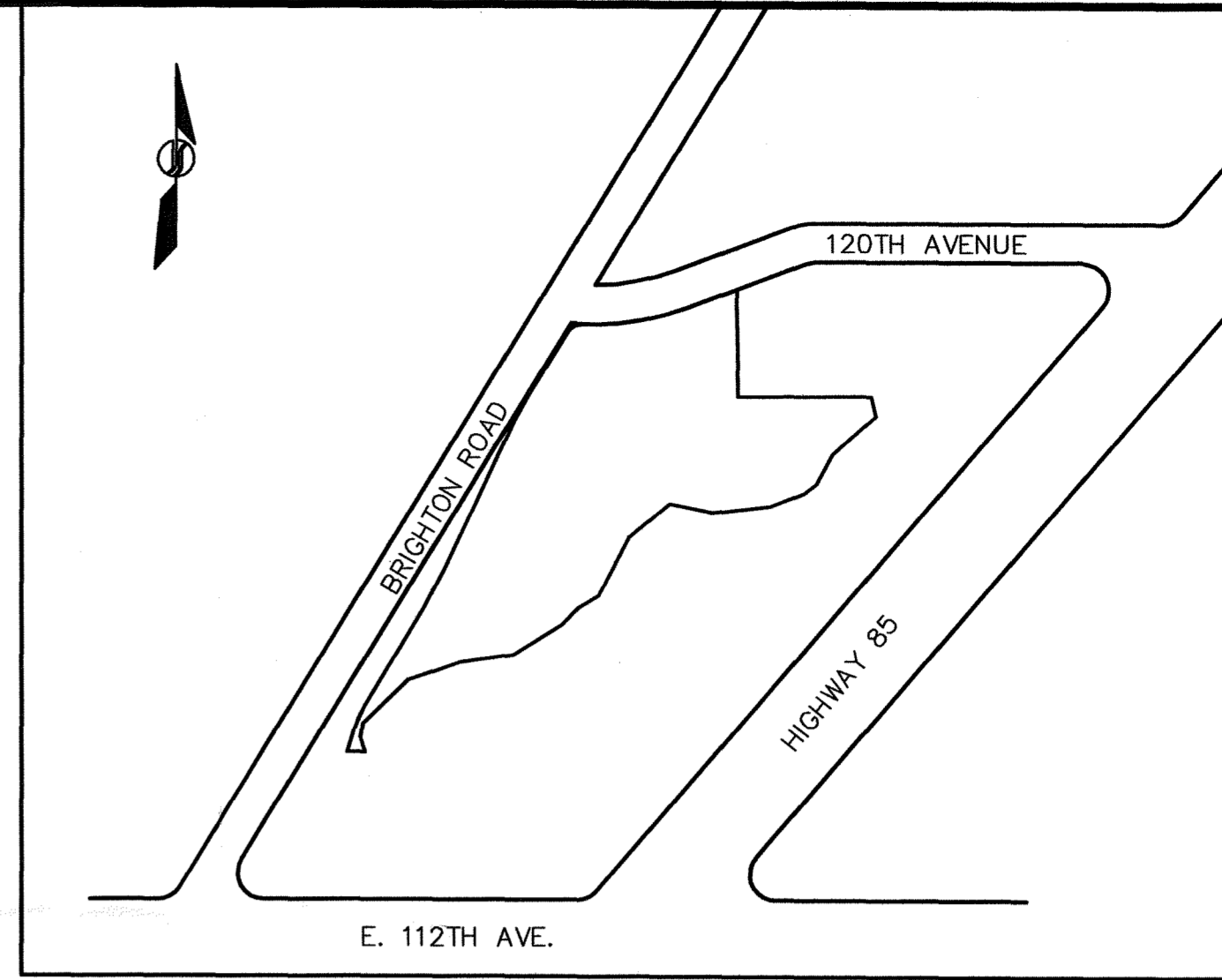
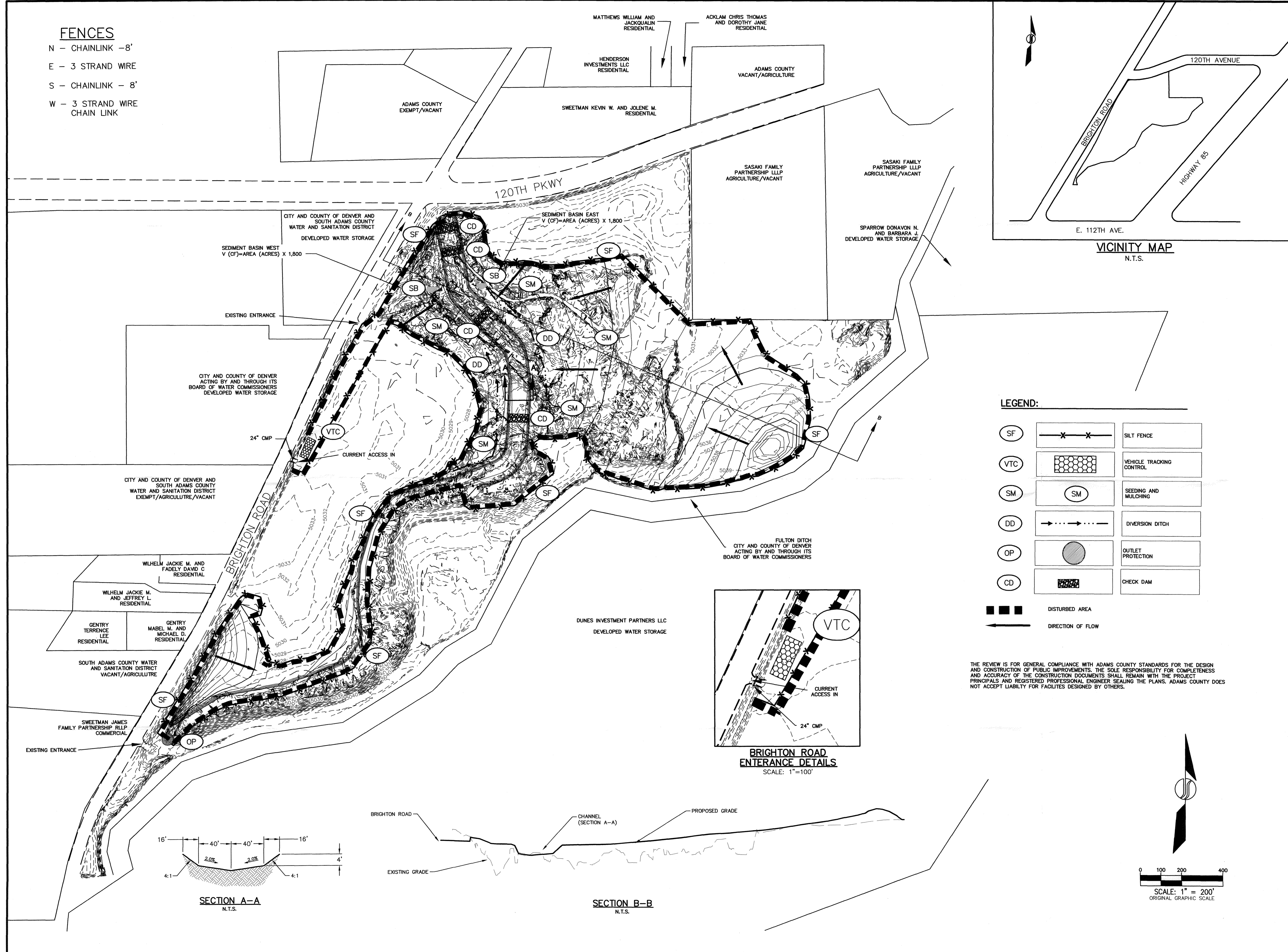
CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

MANN PROPERTY
CLEAN SOIL FILL
PROPOSED FINAL GRADES

Scale: Hor.: 1" = 200'
Vert.:
Date: JULY 03, 2012
Job No.: 9018
Sheet 2 of 5

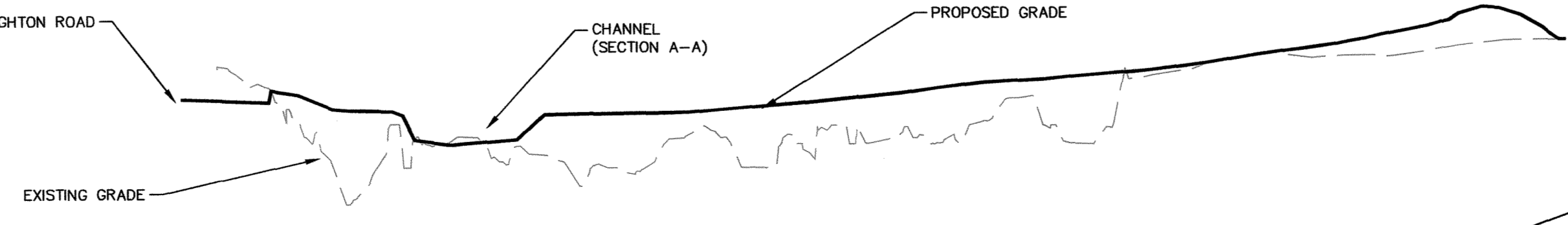
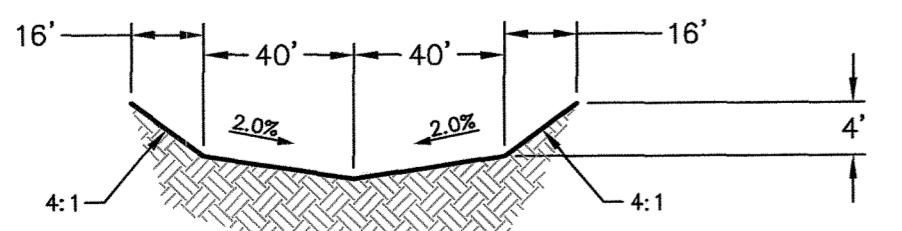
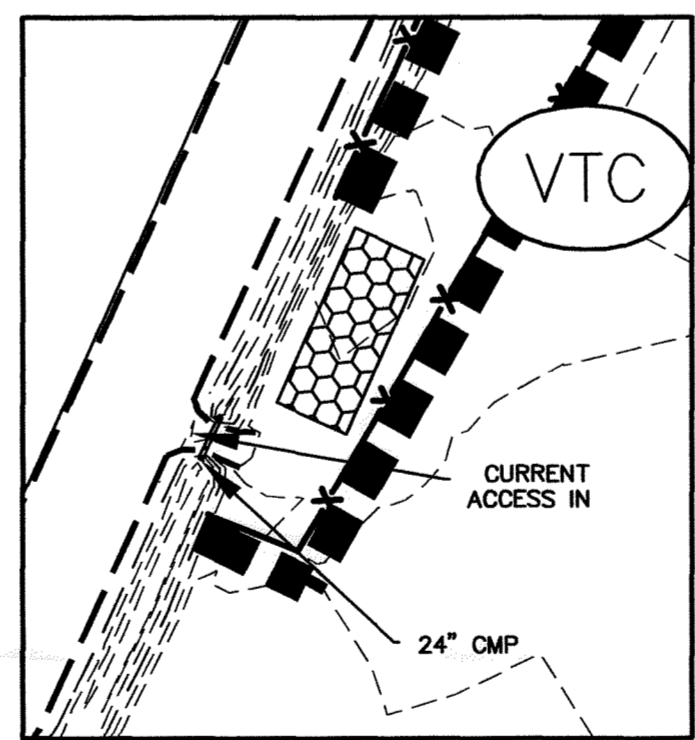
FENCES

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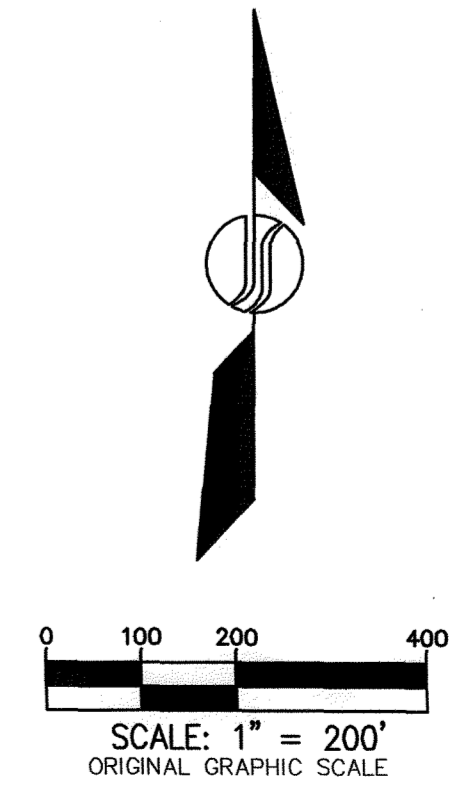


LEGEND:

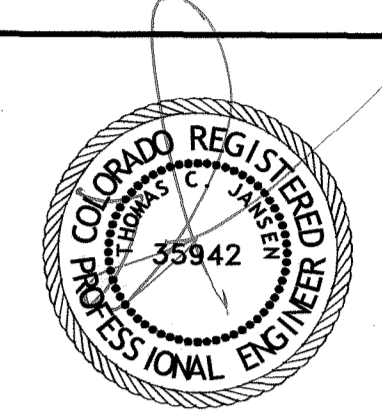
(SF)		SILTY FENCE
(VTC)		VEHICLE TRACKING CONTROL
(SM)		SEEDING AND MULCHING
(DD)		DIVERSION DITCH
(OP)		OUTLET PROTECTION
(CD)		CHECK DAM
	DISTURBED AREA	
	DIRECTION OF FLOW	



THE REVIEW IS FOR GENERAL COMPLIANCE WITH ADAMS COUNTY STANDARDS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS. THE SOLE RESPONSIBILITY FOR COMPLETENESS AND ACCURACY OF THE CONSTRUCTION DOCUMENTS SHALL REMAIN WITH THE PROJECT PRINCIPALS AND REGISTERED PROFESSIONAL ENGINEER SEALING THE PLANS. ADAMS COUNTY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.



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DENVER, CO 80223
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F. 303.561.3338



Dec 10, 2012
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JANSEN STRAWN CONSULTING ENGINEERS, INC.
BENCHMARK:
NGS POINT K 260
ELEV. 5052.27
(NAVD 88 DATUM)

No.	Description of Revisions	Date	By
2	County Comments	12-10-2012	KOG
1	County Comments	09-25-2012	KOG

Designed By: KOG
Checked By: TCJ

CALL UTILITY NOTIFICATION
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BEFORE YOU DIG, GRADE OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

**MANN PROPERTY
CLEAN SOIL FILL
EROSION CONTROL
FILLING PLAN**

Scale: Hor.: 1" = 200'
Vert.:
Date: JULY 25, 2012
Job No.: 9018
Sheet 3 of 5



Development Review Team Comments

Date: 5/29/17

Project Number: RCU2017-00048

Project Name: Mann Lakes Inert Fill Extension

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee will be required after the third review and upon submittal of the fourth review.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. REQUEST:

- a. For an extension of a previously approved Conditional Use Permit (RCU2012-00026) in order to complete the inert fill on the subject property. The original permit approved 320,000 cubic yards of material to be placed on the site.
- b. This request is to allow the import of the remaining 256,000 cubic yards.

PLN2. SITE LOCATION/ZONING:

- a. The request is located at 11910 BRIGHTON RD (PIN 0172103103008) and is approximately 44.5 acres.
- b. The site is designated as Agriculture-3 (A-3).

PLN3. PROJECT HISTORY:

- a. Previous sand and gravel mine known as M & G Pit (41-94-CA)
 - i. The associated state mining permit (M-1986-079) allowed the site to be backfilled with material originating from the Denver Water Board Howe Pit on the west side of Brighton Rd directly across from the subject property.

- ii. Conceptual review notes from PRE2012-00006 to discuss the inert fill operation noted the property was illegally created and that a land survey plat would be deposited prior to any application for the inert fill. **Please provide evidence of the required land survey.**
- b. RCU2012-00026 approved on January 7, 2013. This permit expired after 5 years.

PLN4. COMPREHENSIVE PLAN:

- a. Designated as Urban Residential which is intended to provide single and multi-family housing, create and maintain healthy residential neighborhoods, and allow for compatible uses such as schools, parks, and open space.

PLN6. OTHER COMMENTS:

- a. **The request did not specify a requested time period. Please provide the length of time required to import the remaining fill material.**
- b. **Please provide an update on source material location (if not still the Howe Pit).**
- c. **Anticipated conditions include:**
 - a. **expiration date,**
 - b. **“notice to proceed” after submittal of source packets which must identify haul routes and certification of clean material,**
 - c. **dust control measures,**
 - d. **maximum volume of fill,**
 - e. **erosion and sediment controls,**
 - f. **roadway cleanliness/ repair damages**
 - g. **hours of operation 7a-7p Mon-Sat**

Commenting Division: Development Services, Engineering:

Name of Review: Greg Labrie

Email: glabrie@adcogov.org

ENG1: The applicant did not indicate the source of the fill material and did not provide documentation indicating that the fill material is free of contamination.

ENG2: The applicant did not submit an on-site grading plan. The grading plan should also show the proposed erosion and sediment control BMPs.

Commenting Division: Development Services, Environmental Analyst:

Name of Review: Jen Rutter

Email: jrutter@adcogov.org

ENV1. According to Condition of Approval #2 in the original permit, the operator shall submit a source packet to the County for review prior to any importation of fill material and receive a Notice to Proceed for each source. This condition should carry over to any new fill permit.

ENV2. Per Condition of Approval #12 of the original permit, please provide all records concerning sources of fill materials and certifications from the past five years.

Commenting Division: Development Services, Building Safety:

Name of Review: Justin Blair

Email: jblair@adcogov.org

BSD1: No comment.

Commenting Division: Development Services, Right-of-Way:

Name of Review: Marissa Hillje

Email: mhillje@adcogov.org

ROW1: No comment.



May 4, 2018

Emily Collins
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Mann Lakes Inert Fill Extension, RCU2017-00048
TCHD Case No. 4919

Dear Emily Collins,

Thank you for the opportunity to review and comment on Inert Fill extension Conditional Use Permit for Mann Lakes Property located at 11910 Brighton Rd. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Fugitive Dust – Recommendations for temporary uses

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. Earth-moving operations and vehicle traffic on unpaved roads may contribute to increased fugitive dust emissions. We recommend that the applicant utilize all available methods to minimize fugitive dust. Control measures or procedures that may be employed include, but are not limited to, watering, chemical stabilization, carpeting roads with aggregate, and speed restrictions. Additionally, a wind speed monitor should be installed or an alternative system should be put in place to track wind speed.

Inert Material Fill

According to the CDPHE Hazardous Waste Exclusions Guidance Document, inert material is defined as any “non-water-soluble and non-decomposable inert solids together with such minor amounts and types of other materials as will not significantly affect the inert nature of the fill material.” For materials to be considered inert, they cannot contain hazardous wastes, or leach hazardous constituents above appropriate surface or groundwater protection levels. This term includes dirt, sand, gravel, rock, concrete which has been hardened at least 60 days, masonry, asphalt paving fragments and other materials as may be included by the Colorado Solid and Hazardous Waste Commission.

It should be noted that for the purposes of the Colorado Solid Waste regulations, a site or facility where inert materials are deposited as fill material is required to obtain a certificate of designation (CD) as a solid waste disposal site. If the inert materials are generated at the same site where they are deposited, a CD may not be required if the

design and operations are in compliance with the Colorado Solid Waste regulations [6 CCR 1007-2]. Although the Hazardous Materials and Waste Management Division must conduct a technical review of the proposed disposal plan, the actual decision to issue a CD is up to the local governing body having jurisdiction. A list of fill material should be provided to the County, in addition to documentation that the fill material is not hazardous.

Stormwater Impacts

Development of the subject parcel will potentially result in an increase of stormwater and snowmelt runoff that may contribute significant pollutant loadings to the South Platte River. These pollutants include bacteria, nutrients, metals, and oxygen consuming contaminants.

Stormwater management is important for improving water quality and preventing flooding and erosion. A number of Best Management Practices (BMPs) can be utilized that can reduce pollutant loadings from the project, during both the construction and post-construction phases. For construction, the State issues Stormwater Construction Permits which require a Stormwater Management Plan (SWMP) for stormwater discharged from any construction activity that disturbs at least one acre of land. Applicants should consider providing a Groundwater Monitoring Plan with monitoring wells.

For post-construction runoff, the Urban Drainage and Flood Control District (UDFCD) Drainage Criteria Manual recommends methods that are called "minimizing directly connected impervious areas" that include reducing paved areas, using porous pavements and grass swales. These BMPs both improve water quality and limit the volume of water that must be retained/detained in ponds; and they can also reduce the potential for mosquito breeding conditions. We encourage the applicant to follow UDFCD's design hierarchy.

Please feel free to contact me at (720)200-1537 or mbettag@tchd.org if you have any questions on TCHD's comments.

Sincerely,

A handwritten signature in blue ink that reads "Mallory R. Bettag". The signature is written in a cursive style with a horizontal line underneath the name.

Mallory R. Bettag, MPH/MURP
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Tuesday, May 22, 2018 2:57 PM
To: Emily Collins
Subject: RCU2017-00048, Mann Lakes Inert Fill Extension

Emily,

I have reviewed the referral named above requesting a CUP to extend the expiration date of a previously approved permit in order to complete the inert fill on the property located at 11910 Brighton Road and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl., Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

MEMO

Exhibit 4.4

COMMUNITY DEVELOPMENT
DEPARTMENT

To: Emily Collins, Case Manager

From: Robin Kerns, City Planner

Subject: RCU2017-00048

Date: May 22, 2018

Thank you for allowing the City of Commerce City the opportunity to comment on land use cases in Adams County.

Staff has reviewed the proposal and has no comments.

Please contact me with any questions at rkerns@c3gov.com or 303-289-3693.



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

May 21, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Emily Collins

Re: Mann Lakes Inert Fill Extension, Case # RCU2017-00048

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the documentation for **Mann Lakes Inert Fill Extension** and has **no apparent conflict**.

If there are any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Right of Way and Permits
Public Service Company of Colorado

SOUTH ADAMS COUNTY FIRE DEPARTMENT

6050 Syracuse Street, Commerce City, CO 80022

South Adams County Fire Department
Commerce City Community Development Request for Comments

Date: 5/21/2018

Case No: RCU2017-00048

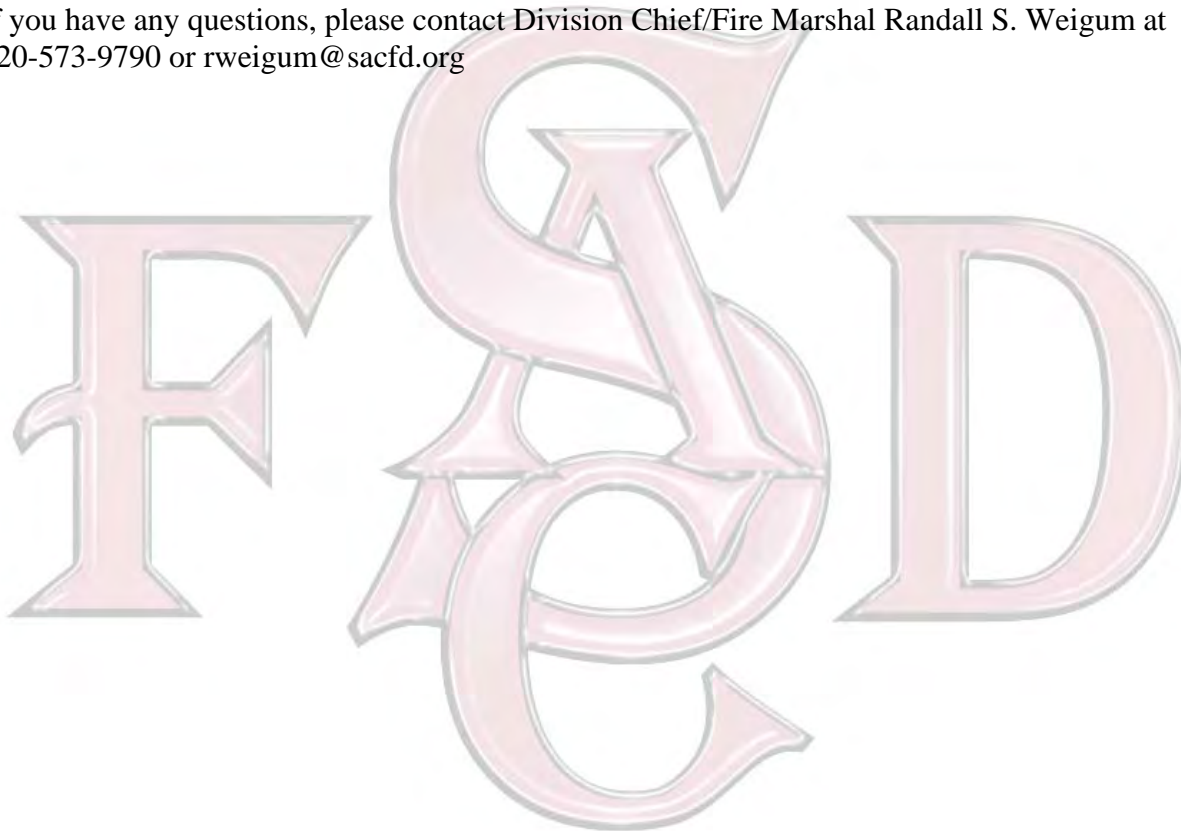
Case Planner: Emily Collins

Location: 11910 Brighton Road

SACFD Reviewer: Randall S. Weigum

1. The South Adams County Fire Department does not have any comments on RCU2017-00048.

If you have any questions, please contact Division Chief/Fire Marshal Randall S. Weigum at 720-573-9790 or rweigum@sacfd.org



Emily Collins

From: Marisa Dale [mdale@UnitedPower.com]
Sent: Tuesday, May 15, 2018 4:04 PM
To: Emily Collins
Subject: RE: RCU2017-00048 Mann Lakes Inert Fill

Hi Emily,

Thank you for inviting United Power, Inc. to review and comment on this referral.

United Power, Inc. has no objection on extending the conditional use permit.

Thank you,
Marisa

Marisa Dale, RWA | [System Design - Right of Way](#)
500 Cooperative Way, Brighton, CO 80603 | O 303.637.1387
Schedule: Monday-Thursday 7:00-5:30

Powering Lives, Powering Change, Powering the Future – The Cooperative Way



From: Emily Collins [<mailto:ECollins@adcogov.org>]
Sent: Tuesday, May 01, 2018 4:48 PM
To: 'landuse@tchd.org'; Monte Deatrich; Simmonds, Craig; 'chris.quinn@rtd-denver.com'; George, Donna L; Kerrie Monti; rweigum@sacfd.org; Kerns, Robin - CD; thomas_lowe@cable.comcast.com; 'patrick.j.pfaltzgraff@state.co.us'; serena.rocksund@state.co.us; eliza.hunholz@state.co.us; Loeffler - CDOT, Steven; Andrew.Todd@state.co.us; brandyn.wiedrich@centurylink.com; Marisa Dale
Cc: Justin Blair; Eric Guenther; Greg Labrie; Marissa Hillje; Jen Rutter; Aaron Clark
Subject: RCU2017-00048 Mann Lakes Inert Fill

Good Morning:

Please see the attached Request for Comments on the above case. **Comments are due by Tuesday, May 22nd.**

Let me know if you have any questions!

Thanks,



Emily Collins, AICP

Planner III, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 South Adams County Parkway, W2000A
Brighton, CO 80601
o: 720-523-6820 | ecollins@adcogov.org
www.adcogov.org

Emily Collins

From: Todd - CDPHE, Andrew [andrew.todd@state.co.us]
Sent: Wednesday, May 02, 2018 9:55 AM
To: Emily Collins
Subject: Re: RCU2017-00048 Mann Lakes Inert Fill

Hi Emily;

The State Division of Hazardous Materials and Waste Management (HMWMD) has no comments as the fill material meets the definition of "environmental media" (naturally occurring solid media) and doesn't include man-made waste (concrete, brick, asphalt, etc.).

Also, HMWMD has relinquished authority over inert fill sites operating under a Division of Reclamation Mining & Safety (DRMS) reclamation plan - as this site is said to be - solely to DRMS.

Please call if you have questions.

Sincerely;

On Tue, May 1, 2018 at 4:48 PM, Emily Collins <ECollins@adcogov.org> wrote:

Good Morning:

Please see the attached Request for Comments on the above case. **Comments are due by Tuesday, May 22nd.**

Let me know if you have any questions!

Thanks,



Emily Collins, AICP

Planner III, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, W2000A

Brighton, CO 80601

o: 720-523-6820 | ecollins@adcogov.org

www.adcogov.org

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Request for Comments

Case Name:	Mann Lakes Inert Fill Extension
Case Number:	RCU2017-00048

May 1, 2018

Adams County Planning Commission is requesting comments on the following request:

Request a conditional use permit to extend the expiration date of a previously approved permit (RCU2012-00026) in order to complete the inert fill on the subject property.

This request is located at **11910 BRIGHTON RD.**

The Assessor's Parcel Number is **0172103103008**

Applicant Information **MANN LAKE HOLDINGS LLC**

2027 W COLFAX AVE

DENVER, CO 80204

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6820 by **May 22, 2018** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name:	Mann Lakes Inert Fill
Case Number:	RCU2017-00048
Planning Commission Date:	09/20/2018 at 6:00 p.m
Board of County Commissioners Date:	10/16/2018 at 9:30 a.m.

September 4, 2018

A public hearing has been set by the Adams County Planning Commission and Board of County Commissioners to consider the following request:

A conditional use permit to allow approximately 256,000 cubic yards of inert fill material to complete mining reclamation (site grading) on the subject property

This request is located at **11910 BRIGHTON RD**
The Assessor's Parcel Number is **0172103103008**
Applicant Information **MANN LAKES HOLDINGS, LLC**
2027 W. COLFAX AVENUE
DENVER, CO 80204

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S. Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

Exhibit 6.3

NOTICE OF PUBLIC HEARING FOR LANDUSE

NOTICE IS HEREBY GIVEN, that an application has been filed by **Mann Lake Holdings, LLC** Case # **RCU2017-00048** requesting: **a conditional use permit to allow approximately 256,000 cubic yards of inert fill material to complete mining reclamation on the subject property** on the following property:

LEGAL DESCRIPTION:

M & G PIT LOT:1 PARC OF LAND BEING A PORT OF LOT 1 BEING A PART OF SEC 3/2/67 DESC AS FOLS BEG AT THE NE COR OF SD SEC 3 AND CONSIDERING THE E LN OF THE N2 OF THE NE4 OF SD SEC 3 TO BEAR S 00D 58M 37S E WITH ALL BRNGS HEREON RELATIVE THERETO TH S 50D 13M 15S W 846/76 FT TO THE POB TH S 00D 58M 58S E 1492/27 FT TH S 87D08M 01S W 90/05 FT TH S 84D 50M 01S W 96/99 FT TH N 89D 24M 59S W 47/58 FT TH N 84D 22M 59S W 81/84 FT TH N 74D 21M 59S W 202/24 FT TH S 83D 17M 02S W 184/11 FT TH N 80D 56M 38S W 1161/50 FT TO A PT ON THE WLY BDRY OF SD LOT 1 TH N 25D 16M 08S E 325/15 FT TO A PT OF CURVE AND THE SLY END OF THAT PARCEL IN REC NO C1166981 TH ALG THE BDRY OF SD PARCEL DESC IN REC NO C1166891 THE FOL 6 COURSES 1)ALG A CURVE TO RT HAV A C/A OF 06D 56M 11S A RAD OF 1823/76 FT AN ARC LNG OF 220/79 FT AND A CHD THAT BRS N 28D 44M 14S E 220/66 FT 2)N 32D 08M 30S E 571/67 FT TO A PT OF CURVE 3)ALG A CURVE TO RT HAV A C/A OF 59D 33M 02S A RAD OF 125 FT AN ARC LNG OF 129/92 FT AND A CHD THAT BRS N 61D 54M 59S E 124/15 FT 4)S 88D 18M 31S E 10/71 FT TO A PT OF CURVE 5)ALG A CURVE TO THE LEFT HAV A C/A OF 22D 09M 52S A RAD OF 2074 FT AN ARC LNG OF 802/31 FT AND A CHD THAT BRS N 80D 36M 33S E 797/32 FT 6)N 69D 31M 37S E 345/17 FT TH N 89D 14M 18S E 35/34 FT TO THE POB 44/590A

(The above legal description was provided by the applicant and Adams County is not responsible for any errors and omissions that may be contained herein and assumes no liability associated with the use or misuse of this legal description.)

APPROXIMATE LOCATION: 11910 BRIGHTON RD

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Adams County Planning Commission in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO – 1st Floor, on the **20th day of September, 2018**, at the hour of 6:00 p.m., where and when any person may appear and be heard and a recommendation on this application will be forwarded to the Board of County Commissioners.

NOTICE IS FURTHER GIVEN, that a public hearing will be held by the Adams County Board of County Commissioners in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO – 1st Floor, on the **16th day of October, 2018**, at the hour of 9:30 a.m., to consider the above request where and when any person may appear and be heard.

For further information regarding this case, please contact **Emily Collins** at the Department of Planning and Development, 4430 S. Adams County Pkwy, Brighton, CO 80601, 720.523.6820. This is also the location where the maps and/or text certified by the Planning Commission may be viewed.

**BY ORDER OF THE BOARD OF COUNTY COMMISSIONERS
STAN MARTIN, CLERK OF THE BOARD**

TO BE PUBLISHED IN THE September 12, 2018 ISSUE OF THE BRIGHTON BLADE

Please reply to this message by email to confirm receipt or call **Megan Ulibarri** at 720.523.6800.

Exhibit 6.4

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

BRIGHTON SCHOOL DISTRICT 27J
Attn: Kerrie Monti
18551 E. 160TH AVE.
BRIGHTON CO 80601

CDPHE - WATER QUALITY PROTECTION SECT
Attn: Patrick Pfaltzgraff
4300 CHERRY CREEK DRIVE SOUTH
WQCD-B2
DENVER CO 80246-1530

CDPHE SOLID WASTE UNIT
Attn: Andy Todd
4300 CHERRY CREEK DR SOUTH
HMWMD-CP-B2
DENVER CO 80246-1530

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

COLORADO DIVISION OF WILDLIFE
Attn: Serena Rocksund
6060 BROADWAY
DENVER CO 80216

COLORADO DIVISION OF WILDLIFE
Attn: Eliza Hunholz
Northeast Regional Engineer
6060 BROADWAY
DENVER CO 80216-1000

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

Commerce City Planning Division
Attn: Robin Kern
7887 East 60th Avenue
COMMERCE CITY CO 80022

Commerce City Planning Division
Attn: Robin Kern
7887 East 60th Avenue
COMMERCE CITY CO 80022

COUNTY ATTORNEY- Email
Attn: Christine Francescani
CFrancescani@adcogov.org

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

Engineering Division
Attn: Transportation Department
PWE

ENVIRONMENTAL ANALYST
Attn: Jen Rutter
PLN

FULTON DITCH COMPANY
Attn: LAW OFFICES OF BRICE STEELE
25 S. 4TH AVENUE
BRIGHTON CO 80601

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

NS - Code Compliance
Attn: Gail Moon
gmoon@adcogov.org

NS - Code Compliance
Attn: Joaquin Flores

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

SOUTH ADAMS CO. FIRE DISTRICT
Attn: Randall Weigum
6050 Syracuse Street
COMMERCE CITY CO 80022

South Adams County Water & San Dist
Attn: Abel Moreno
10200 E 102nd Ave
Henderson CO 80022

TRI-COUNTY HEALTH DEPARTMENT
Attn: MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022

TRI-COUNTY HEALTH DEPARTMENT
Attn: Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111

Tri-County Health: Mail CHECK to Sheila Lynch
Attn: Tri-County Health
landuse@tchd.org

United Power, Inc
Attn: Marisa Dale
PO Box 929
500 Cooperative Way
Brighton CO 80601

Exhibit 6.5

120 85 LLC
10925 E 120TH AVE
HENDERSON CO 80640-9733

CITY AND COUNTY OF DENVER ACTING BY AND THRU
ITS
BOARD OF WATER COMMISSIONERS
1600 W 12TH AVE
DENVER CO 80204-3412

A LANDSCAPE SUPPLY LLC
10701 E 120TH AVE
HENDERSON CO 80640-9737

COLLECTIVE PARKS-COTTONWOOD MHC LLC
14320 VENTURA BLVD UNIT 616
SHERMAN OAKS CA 91423-2717

ACKLAM CHRIS THOMAS AND
ACKLAM DOROTHY JANE
10280 E 120TH AVE
HENDERSON CO 80640-9746

COUNTY OF ADAMS THE
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

D AND L LEASING LLC
8765 E 127TH CT
BRIGHTON CO 80602-8111

ASPHALT SPECIALTIES CO INC
10100 DALLAS STREET
HENDERSON CO 80640

DE VAULT CLAYTON D
15653 S FURROW RD
LARKSPUR CO 80118

ASPHALT SPECIALTIES COMPANY INC
10100 DALLAS STREET
HENDERSON CO 80640

FROST GERALDINE H TRUST THE
PO BOX 23
HENDERSON CO 80640-0023

CHACON PAVING INC
1701 E 114TH PL
NORTHGLENN CO 80233-2263

GENTRY MICHAEL D AND
GENTRY DONNA J
11591 BRIGHTON RD
HENDERSON CO 80640-9329

CITY AND COUNTY OF DENVER
1436 BANNOCK ST
DENVER CO 80202-5317

GENTRY TERRENCE LEE
12142 COLORADO BLVD NO. E-304
THORNTON CO 80233

CITY AND COUNTY OF DENVER ACTING BY AND
THROUGH ITS BOARD OF WATER COMMISSIONERS
1600 W 12TH AVE
DENVER CO 80204

GORDONS STOUT LLC
C/O LYLE GURLEY
HENDERSON CO 80640-0705

CITY AND COUNTY OF DENVER ACTING BY AND
THROUGH ITS BOARD OF WATER COMMISSIONERS
1600 W 12TH AVE
DENVER CO 80204-3412

KIRBY KIRK LEVI
10221 E 120TH AVE
HENDERSON CO 80640-9745

MANN LAKE HOLDINGS LLC
2027 W COLFAX AVE
DENVER CO 80204-2331

SWEETMAN JAMES FAMILY PARTNERSHIP
RLLL
11481 BRIGHTON RD
HENDERSON CO 80640-9331

MORALES RAFAEL JOAQUIN CHACON
1701 E 114TH PL
NORTHGLENN CO 80233-2263

SWEETMAN KEVIN AND
SWEETMAN JOLENE
11990 BRIGHTON RD
HENDERSON CO 80640-9322

MUNIZ ALEX I AND
MUNIZ BENNIE I
12010 BRIGHTON RD
HENDERSON CO 80640-9754

SWEETMAN KEVIN W AND
SWEETMAN JOLENE M
11920 BRIGHTON RD
HENDERSON CO 80640-9322

OFF DON AND JEANNE PARTNERSHIP
10495 E 120TH AVE
HENDERSON CO 80640-9742

SWEETMAN KEVIN WAYNE AND
SWEETMAN JOLENE
11920 BRIGHTON RD
HENDERSON CO 80640-9322

OLD BRIGHTON ROAD LLC
PO BOX 247
EASTLAKE CO 80614-0247

TRUNKENBOLZ LLC
609 S 1ST AVE
BRIGHTON CO 80601-3001

SASAKI FAMILY PARTNERSHIP LLLP
697 VOILES DR
BRIGHTON CO 80601-3322

WILHELM JACKIE M AND
FADELY DAVID C
11661 BRIGHTON RD
HENDERSON CO 80640-9327

SOUTH ADAMS COUNTY WATER AND SANITATION
DISTRICT
PO BOX 597
COMMERCE CITY CO 80037-0597

WILHELM JACKIE M AND
WILHELM JEFFREY L
11661 BRIGHTON RD
HENDERSON CO 80640-9327

SOUTH ADAMS COUNTY WATER AND SANITATION DIST
RICT
PO BOX 597
COMMERCE CITY CO 80037-0597

SPARROW DONAVON N AND
BARRON BARBARA J
10888 E 120TH AVE
HENDERSON CO 80640-9736

SUBURBAN SAND AND GRAVEL CO
C/O BADEN TAX MANAGEMENT
PO BOX 8040
FORT WAYNE IN 46898-8040

CERTIFICATE OF POSTING



I, Emily Collins do hereby certify that I had the property posted at

11910 Brighton Rd

on September 6, 2018

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

Mann Lakes Inert Fill RCU2017-00048

October 16, 2018

Board of County Commissioners

Community and Economic Development

Case Manager: Emily Maldonado



Request

- Conditional use permit for 256,000 cubic yards of inert fill material



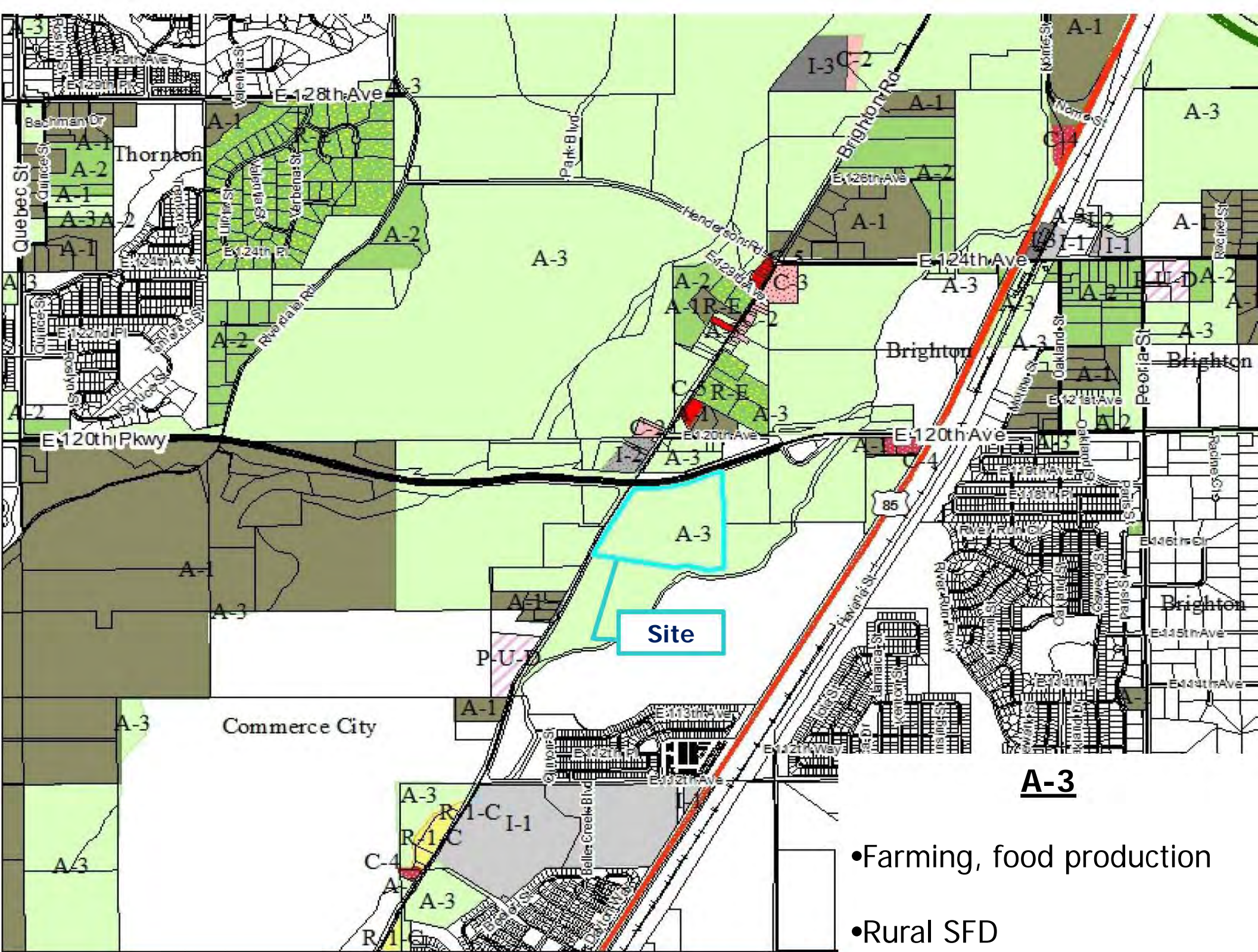
E 120th Ave

Brighton Rd

E 120th Pkwy

E 120th Ct

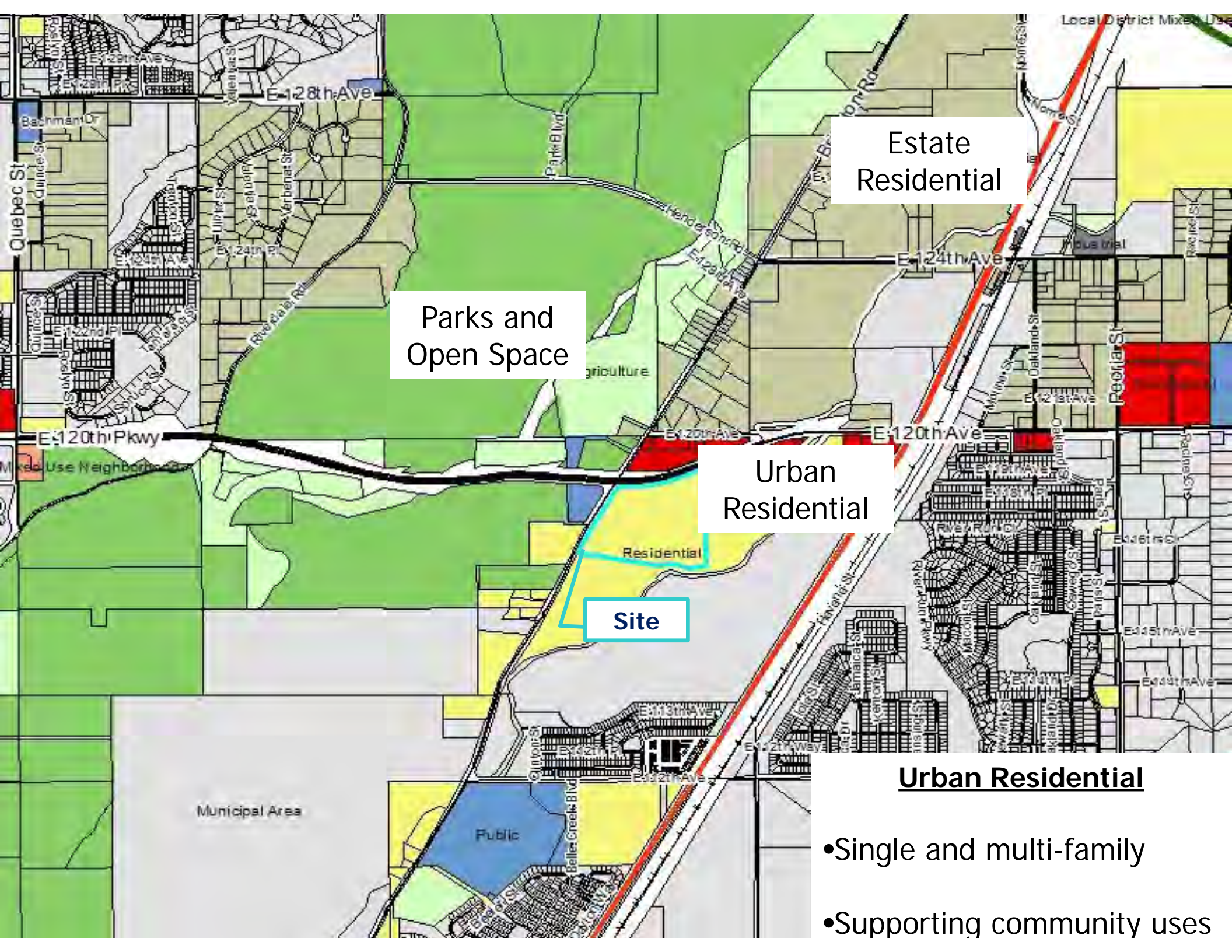
E 120th Ave



Site

A-3

- Farming, food production
- Rural SFD



Estate Residential

Parks and Open Space

Urban Residential

Site

Urban Residential

- Single and multi-family
- Supporting community uses

Background

- 1986
 - M & G Pit mined for sand and gravel deposits
 - Reclamation required by State
- 2013
 - Conditional use for inert fill
 - 320,000 cubic yards
 - Expired January 7, 2018
- 2018
 - Partial reclamation completed (64,000 cubic yards)
 - Requesting additional time

Criteria for Conditional Use

Section 2-02-08-06

1. Permitted in zone district
2. Consistent with regulations
3. Comply with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services

Criteria for Inert Fill

Section 2-02-08-07-04

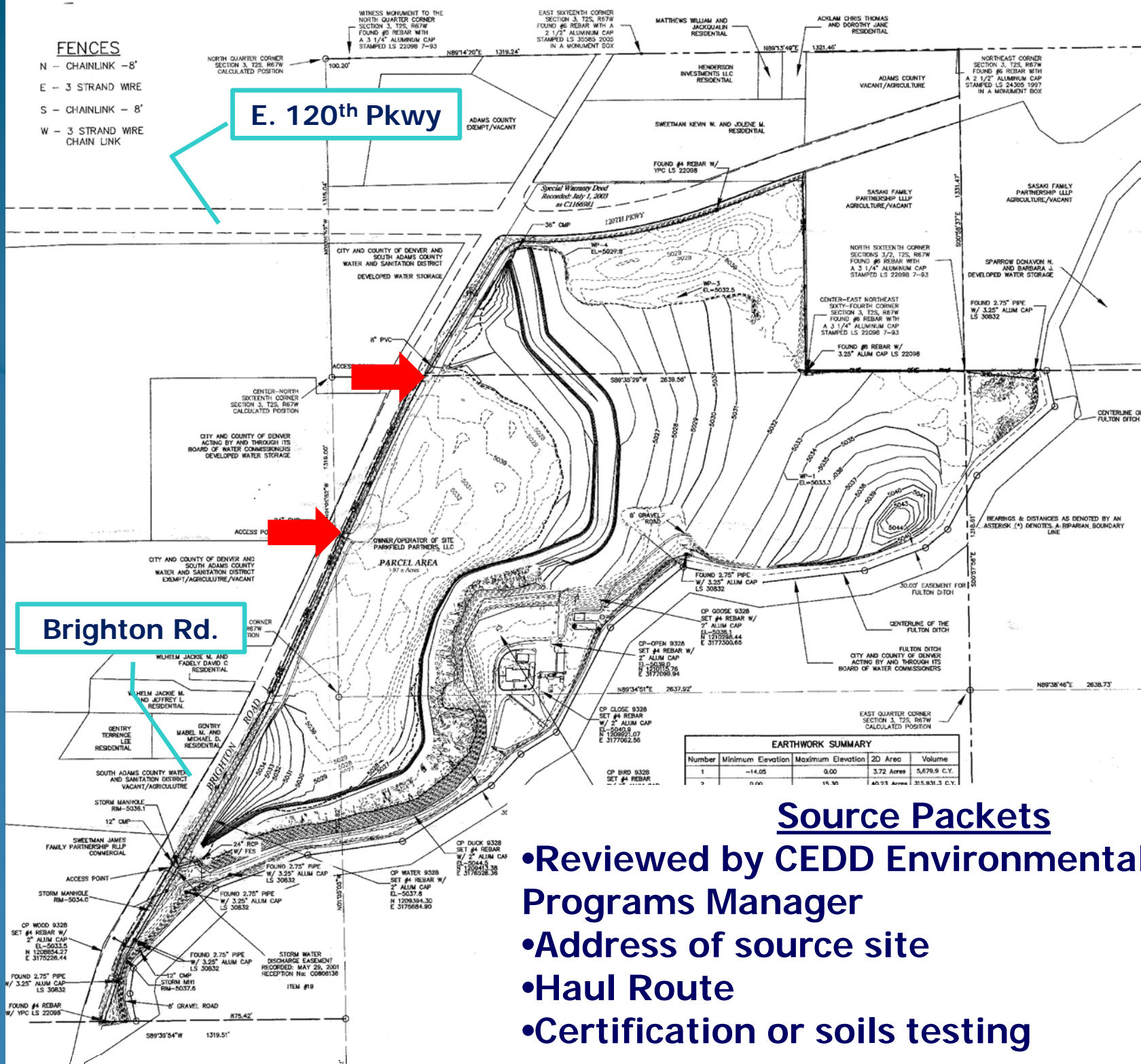
1. Need for the benefit of the County
2. Compatible with Comprehensive Plan and zoning regulations
3. Complies with all health and operating procedures
4. Will not cause significant traffic congestion
5. Compatible with surrounding area
6. Will not impact health and welfare of community

FENCES

- N - CHAINLINK - 8'
- E - 3 STRAND WIRE
- S - CHAINLINK - 8'
- W - 3 STRAND WIRE CHAIN LINK

E. 120th Pkwy

Brighton Rd.



EARTHWORK SUMMARY

Number	Minimum Elevation	Maximum Elevation	2D Area	Volume
1	-14.05	0.00	3.72 Acres	3,679.9 C.Y.
2	0.00	15.50	44.23 Acres	315,831.3 C.Y.

- Source Packets**
- Reviewed by CEDD Environmental Programs Manager
 - Address of source site
 - Haul Route
 - Certification or soils testing

South on Brighton Rd.



East on Brighton Rd.



North on Brighton Rd.



West on Brighton Rd.



North on Brighton Rd.



East on Brighton Rd.



East on Brighton Rd.



NE on Brighton Rd.



Referral Comments

- Comments:
 - Tri-County: dust control and stormwater management
- No concerns:
 - CDPHE, CDOT, Commerce City, United Power, South Adams Fire, Xcel Energy
- Property Owners and Residents within 1,500 ft:

Notifications Sent	Comments Received
37	0

Criteria for Conditional Use & Inert Fill

- Compatible with Comprehensive Plan and zoning regulations
- Harmonious & compatible
- Addressed all off-site impacts
- Need for the benefit of the County
- Complies with all health and operating procedures
- Will not cause significant traffic congestion
- Will not impact health and welfare of community

PC UPDATE

- September 20, 2018
 - Recommended unanimous approval (7-0) vote
- Discussion:
 - Long-term use of property
 - Dust control measures
- Public Testimony:
 - None

Recommendation

RCU2017-00048 Mann Lakes Inert Fill

PC and Staff recommend Approval based on 14 Findings-of- Fact and 14 conditions.

Recommended Conditions

1. The conditional use permit shall expire on October 16, 2023 (5 years).
2. The total volume of imported inert fill material shall not exceed 256,000 cubic yards.
3. A "Notice to Proceed" shall be required from Adams County's Department of Community and Economic Development prior to hauling material from each new source. A "source" application packet shall be submitted to the Department detailing the address of the proposed source property, haul route, and shall include a signed statement from the owner of the source property certifying that the fill material is not contaminated. Testing may be required by Adams County staff should it be deemed necessary.
4. The site shall only accept clean and uncontaminated inert material. A major amendment to this CUP and/or a Certificate of Designation shall be required to import any other types of materials determined not to be inert, as defined the County's Development Standards.
5. Fugitive dust control mechanisms must be in place and functioning at all times, including weekends.
6. All accesses to the site shall be outfitted with vehicle tracking pads.

Recommended Conditions

7. Direct access to East 120th Avenue Parkway shall not be allowed.
8. All activities shall follow all required erosion and sediment control measures.
9. The property owner/applicant will be held responsible for the cleanliness and safety of all roadways adjacent to the property. If the roadways are found to be dangerous or not passable due to debris or mud, the Adams County Public Works Department will shut down the project, until the roadway conditions have improved and are deemed acceptable. If the property owner/applicant fails to keep the adjacent roadways clean and free from debris, the Public Works Department has the option to do the required clean up and bill the charges directly to the property owner/applicant.
10. A clean, neat, and orderly appearance shall be maintained on site at all times.
11. Control of the fill materials, keeping records of the sources of the materials used at this site, shall be the responsibility of the applicant. Records concerning sources of fill materials and certifications shall be made available to Adams County inspectors upon request.

Recommended Conditions

12. Adams County staff is authorized to inspect the site during reasonable working hours. The County may give prior notice of the inspection.
13. All fluid spills such as hydraulic and oil from maintenance of equipment shall be removed and disposed of at a facility permitted for such disposal.
14. Hours of operation shall be from 7:00 am to 7:00 pm Monday through Saturday. Longer hours of operation shall only be permitted through review and approval of the Director of Community and Economic Development.
15. Wind monitoring equipment shall be installed and maintained at all times. The facility shall cease operations during periods of high winds. High winds shall be defined as when wind speeds exceed 35 mph or when sustained wind speeds exceed 25mph.